

EXPRESS OIL CHANGE & TIRE ENGINEERS

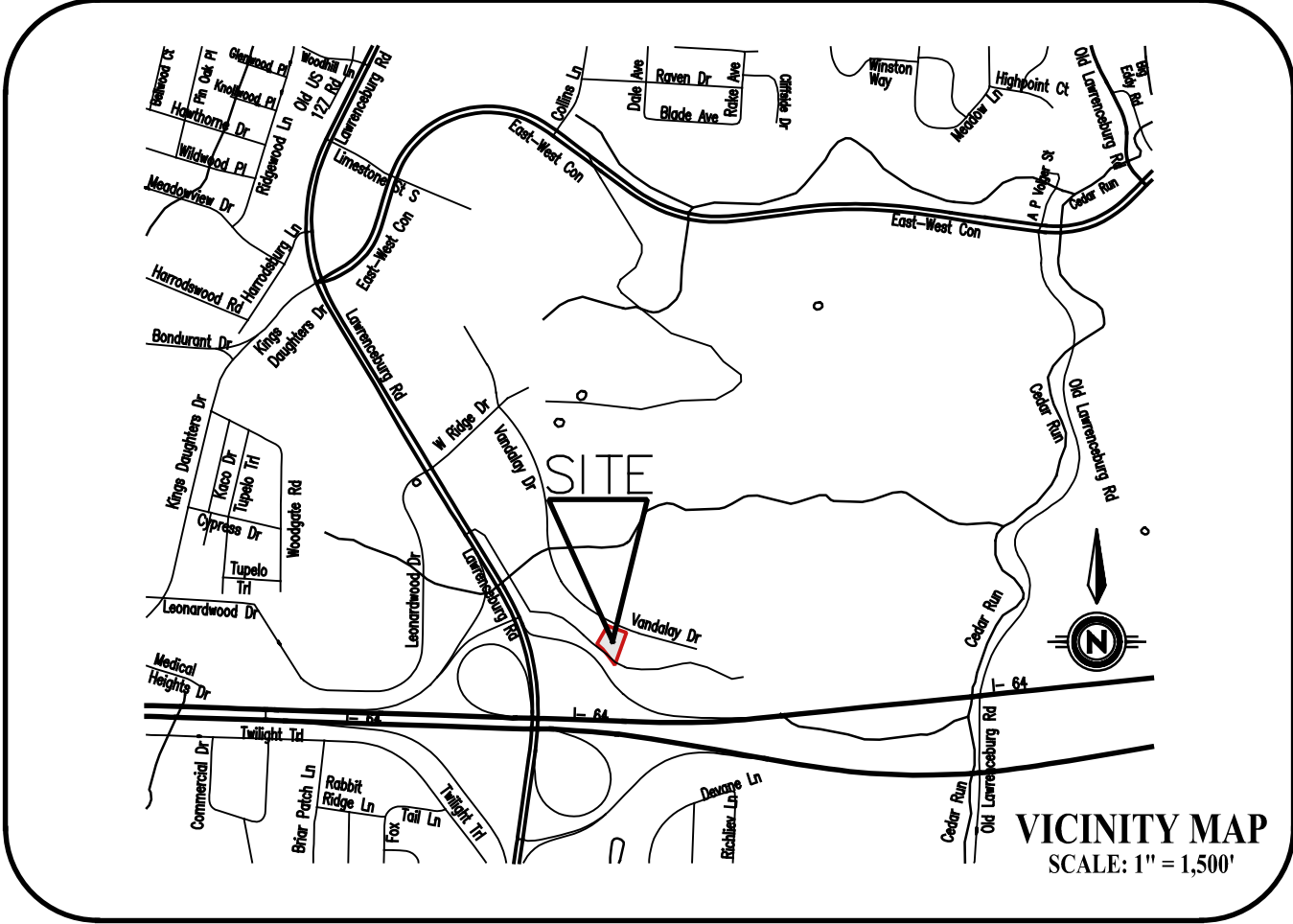


THE PADDOCKS OF FRANKFORT - LOT 4C 2501 VANDALAY DRIVE FRANKFORT, KENTUCKY

DESIGN TEAM

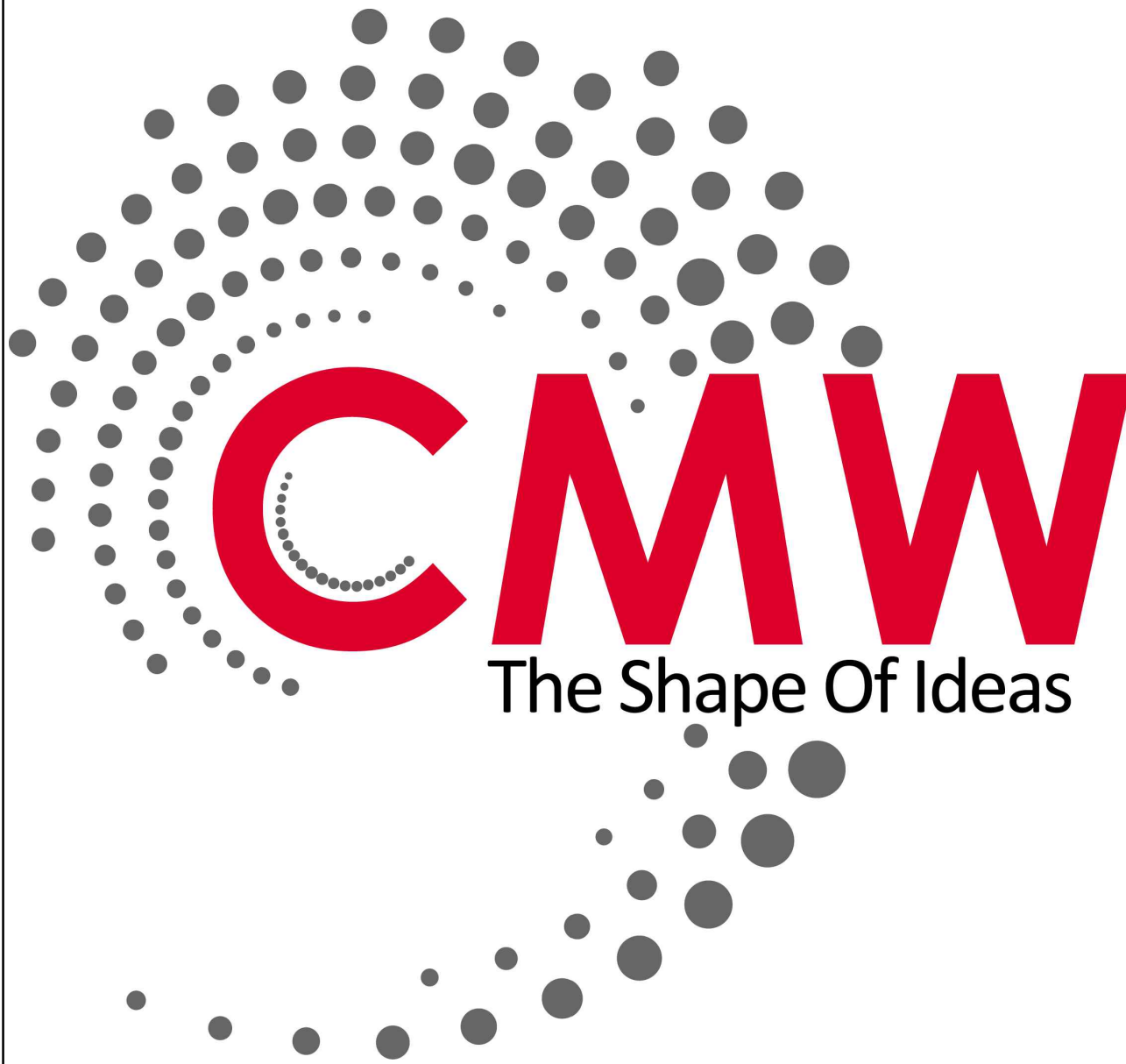
CMW, INC.
Civil Engineer
249 E Main Street, Suite 100, Lexington, KY 40507
O 859.254.6623
F 859.259.1877

VICINITY MAP



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Architecture
Civil Engineering Landscape Architecture

a: 249 East Main Street, Suite 100
Lexington, Kentucky 40507
o: (859) 254-6623
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FAILURE TO ABIDE BY DESIGN DOCUMENTS OR TO OBTAIN GUIDANCE:
THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

OWNERSHIP OF INSTRUMENTS OF SERVICE:
ALL REPORTS, DRAWINGS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY CMW, INC. AS INSTRUMENTS OF SERVICE, SHALL REMAIN THE PROPERTY OF CMW, INC. CMW, INC. SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THERETO.

COVER SHEET

EXPRESS OIL CHANGE & TIRE ENGINEERS
2501 VANDALAY DRIVE
FRANKFORT, KENTUCKY

ISSUED FOR CONSTRUCTION

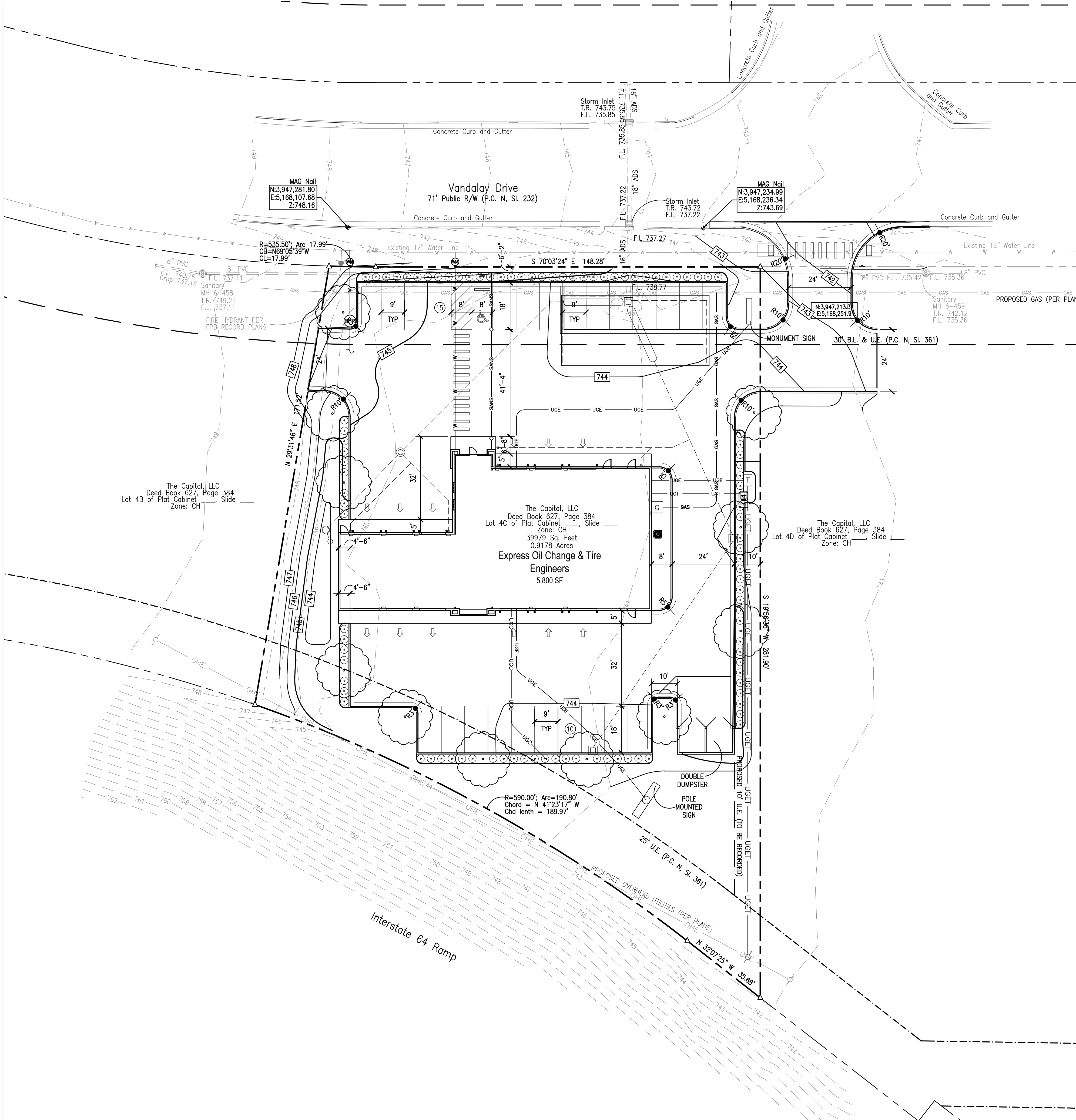
Issue Date:	JUNE 2026
Drawn By:	-
Checked By:	-
Revisions:	07-10-2026
	-
	-
	-
	-
Mark	Date

AHJ SEAL

Project Number
25019.01

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C-000



CERTIFICATION OF AGREEMENT

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS FINAL DEVELOPMENT PLAN WITH MY (OUR) FREE CONSENT, WITH THE EXCEPTION OF SUCH VARIANCES OR OTHER CONDITIONS OF APPROVAL, IF ANY, AS ARE NOTED HEREON OR IN THE MINUTES OF THE FRANKFORT-FRANKLIN COUNTY PLANNING COMMISSION. I (WE) FURTHERMORE UNDERSTAND THAT BUILDING PERMITS FOR CONSTRUCTION CAN ONLY BE ISSUED FOLLOWING THIS PLAN AND THAT AMENDMENTS TO THIS PLAN CAN BE MADE ONLY BY OFFICIAL COMMISSION ACTION.

OWNER _____ DATE _____

CERTIFICATION OF APPROVAL

I HEREBY CERTIFY THAT THE FINAL DEVELOPMENT PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE FRANKFORT-FRANKLIN COUNTY SUBDIVISION AND SITE PLAN REGULATIONS AND WITH THE CITY OF FRANKFORT ZONING REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES OR OTHER CONDITIONS OF APPROVAL, IF ANY, AS ARE NOTED IN THE MINUTES OF THE FRANKFORT/FRANKLIN COUNTY PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED AS THE OFFICIAL PLAN FOR WHICH BUILDING PERMITS MAY BE ISSUED.

CHAIRMAN, FRANKFORT/FRANKLIN COUNTY PLANNING COMMISSION OR DESIGNEE _____ DATE _____

LANDSCAPE CERTIFICATION

I DO HEREBY CERTIFY THAT THIS LANDSCAPE PLAN HAS BEEN REVIEWED BY ME/US AND DO ADOPT THIS PLAN AND ALL INFORMATION CONTAINED HEREIN AS THE PLAN FOR MINIMUM LANDSCAPE DEVELOPMENT FOR THIS PROJECT. I DO FURTHER CERTIFY THAT ALL PLANT MATERIAL WILL BE PERPETUALLY MAINTAINED TO MEET THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE, UNLESS AN APPROVAL TO AMEND THE LANDSCAPE PLAN IS GRANTED BY THE PLANNING AND BUILDING CODE DEPARTMENT.

OWNER(S) _____ DATE _____

WITNESS _____ DATE _____

CERTIFICATION BY REVIEW AGENCIES

I (WE) HEREBY CERTIFY THAT THESE PLANS HAVE BEEN REVIEWED BY OUR AGENCY AND THE IMPROVEMENTS SHOWN HEREIN MEET OR EXCEED ALL REQUIREMENTS OF OUR AGENCY (AGENCIES) AND BUILDING PERMITS MAY BE ISSUED PURSUANT TO THESE PLANS.

PUBLIC WORKS DEPARTMENT _____ DATE _____

PLANNING AND BUILDING CODES DEPARTMENT _____ DATE _____

FRANKFORT FIRE DEPARTMENT _____ DATE _____

FRANKFORT PLANT BOARD - ELECTRIC _____ DATE _____

FRANKFORT PLANT BOARD - WATER _____ DATE _____

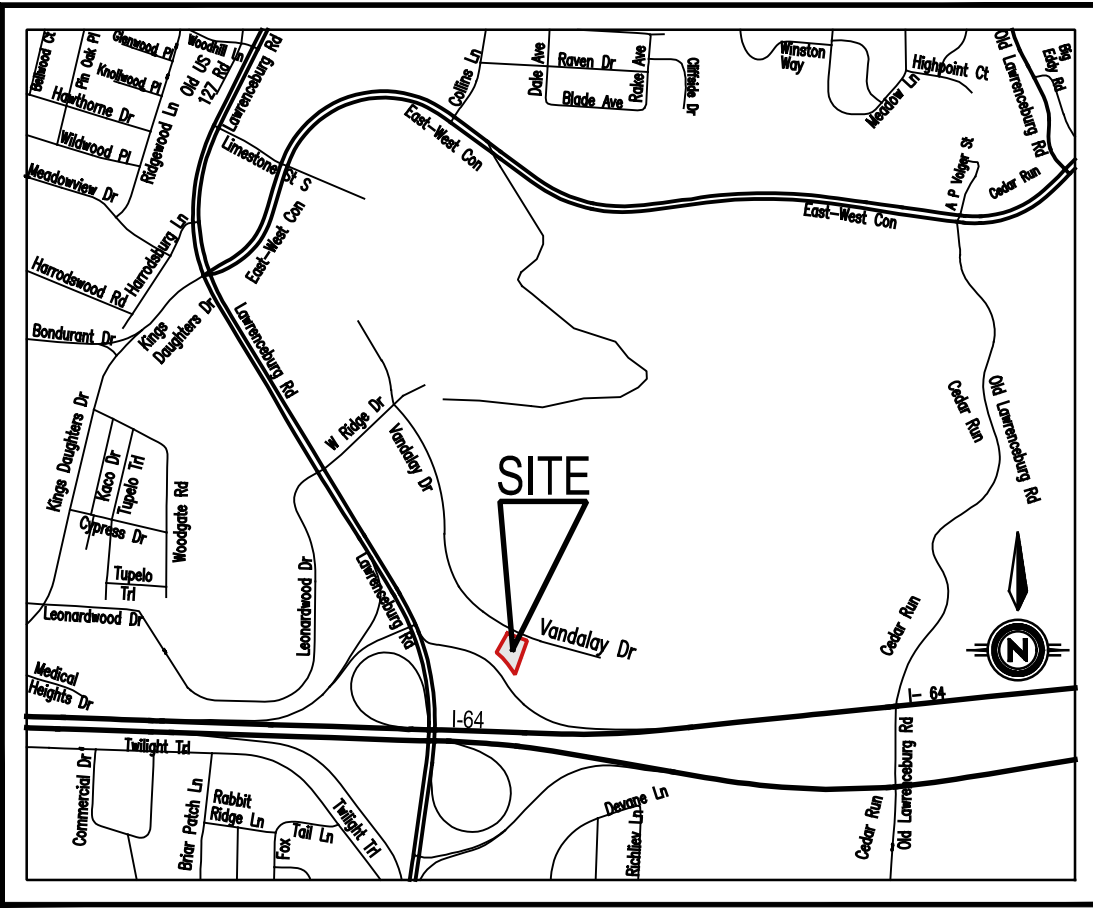
FRANKFORT PLANT BOARD - CABLE/TELECOM _____ DATE _____

CERTIFICATION OF SANITARY SEWERS WHEN SEWERS ARE EXISTING AND ADJACENT

THE FRANKFORT SEWER DEPARTMENT HEREBY CERTIFIES THAT THE PROPERTY (PROPERTIES) CREATED BY THIS ACTION CAN BE SERVED BY A PUBLIC SEWER BY ACCESS ACROSS PUBLIC RIGHT OF WAY OR DEDICATED EASEMENT AND WITHOUT OTHERWISE CROSSING PRIVATE PROPERTY. WE FURTHER CERTIFY THAT ALL EASEMENTS OR RIGHTS OF WAYS NOTED ON THIS PLAN ARE ACCEPTABLE TO THE FRANKFORT SEWER DEPARTMENT AND BASED ON THE INFORMATION PROVIDED TO US, MEET THE PROPERTY RIGHTS REQUIREMENTS OF THE FRANKFORT SEWER DEPARTMENT. THIS ACTION DOES NOT RELEASE ANY PROPERTY RIGHT NOT SPECIFICALLY NOTED.

THE FRANKFORT SEWER DEPARTMENT AND THE DEVELOPER ARE CONSTRUCTING SANITARY SEWER INFRASTRUCTURE. SEWER SERVICE WILL BE AVAILABLE WHEN BOTH PROJECTS ARE ACCEPTED BY THE FRANKFORT SEWER DEPARTMENT.

FRANKFORT SEWER DEPARTMENT _____ DATE _____



VICINITY MAP
SCALE: 1"=1,500'

GENERAL NOTES

1. DEVELOPMENT OF THIS PROPERTY SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE DIVISION OF ENGINEERING MANUALS.
2. THIS DEVELOPMENT PLAN MAY NOT BE USED AS A BASIS FOR SALE OF THIS PROPERTY. ANY SALE OF LAND SHALL BE BASED UPON A RECORDED SUBDIVISION PLAT.

PURPOSE OF THIS AMENDMENT

THE PURPOSE OF THIS DEVELOPMENT PLAN IS TO SHOW THE SIZE, CIRCULATION AND LOCATION OF A PROPOSED VEHICLE SERVICE CENTER.

SITE STATISTICS:

VANDALAY DRIVE - LOT 4C	
EXISTING ZONE	CH (HIGHWAY COMMERCIAL DISTRICT)
NET LOT AREA	39,979 SF (0.9178 AC)
BUILDING AREA	5,800 SF
FLOOR AREA RATIO (F.A.R.) AT 0.5	0.290
VEHICULAR USE AREA (V.U.A.)	19,360 SF
V.U.A. INTERIOR AREA REQ. AT 5%	968 SF
V.U.A. INTERIOR AREA PROVIDED	1,180 SF
PARKING REQUIRED (4 SPACES PER 1,000 SF)	21 PARKING SPACES
PARKING PROPOSED	25 (1 ACCESSIBLE SPACES)
LANDSCAPE REQUIRED	10% OF TOTAL FRONT YARD + 5% INTERIOR LANDSCAPED + 1 TREE PER 250 SF
TREES PROVIDED	11 TREES
SHRUBS PROVIDED	102 SHRUBS

LEGEND

- Property Line
- Easement Line
- OHE-T Overhead Electric & Telephone
- Overhead Electric
- Sanitary Sewer Main
- Water Line
- Centerline of Stream
- Power Pole
- Sanitary Sewer Manhole
- Fire Hydrant
- Air Release Valve
- Gate Valve

PLAN PREPARER/
ENGINEER/
LANDSCAPE ARCHITECT:
CMW, INC.
249 EAST MAIN ST.
SUITE 100
LEXINGTON, KY 40507

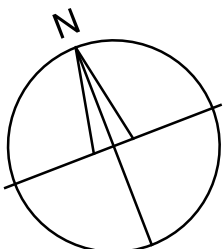
PREPARED ON: MARCH 18, 2026
REVISED:
REV #1 MAY 20, 2026
REV #2 JUNE 08, 2026

DEVELOPER:

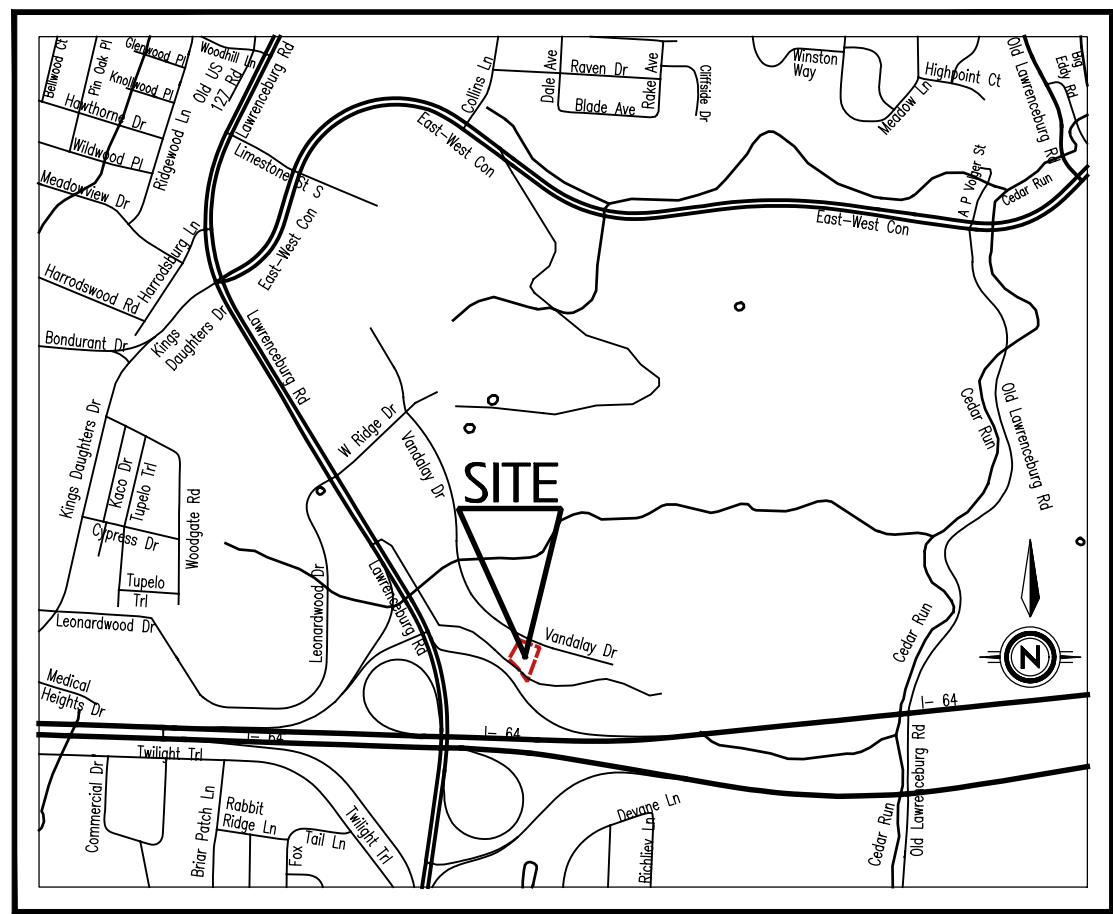
EXPRESS OIL CHANGE
1880 SOUTH PARK DRIVE
BIRMINGHAM, AL 35244

DEVELOPMENT PLAN
FOR
EXPRESS OIL
CHANGE & TIRE ENGINEERS
VANDALAY DRIVE
FRANKFORT, FRANKLIN COUNTY, KENTUCKY

Architecture
Interior Design
Engineering
Landscape Architecture
CMW
The Shape of Ideas
249 East Main Street
Suite 100
Lexington, Kentucky 40507
(859) 254-6623
www.cmwae.com



0 20' 40'
SCALE: 1"=20'



VICINITY MAP SCALE: 1" = 1,500'

UTILITY OWNERS

ELECTRIC
FRANKFORT PLANT BOARD
306 HICKORY DRIVE
FRANKFORT, KENTUCKY
ELECTRIC CONTACT: JIM CARTER
EMAIL: jcarter@fewp.com.com
PHONE: 502-352-4401

CABLE/TELECOM
FRANKFORT PLANT BOARD
306 HICKORY DRIVE
FRANKFORT, KENTUCKY
TELECOM CONTACT: MIKE HARROD
EMAIL: mikeharrod@fewp.com
PHONE: 502-352-4443

NATURAL GAS
COLUMBIA GAS OF KY, INC.
ATTN: MOISON OLIVER
2001 MERCER DRIVE
LEXINGTON, KY 40511
PHONE: (804) 624-7155

SANITARY SEWER
FRANKFORT SEWER DEPARTMENT
1200 SECOND STREET
FRANKFORT, KY 40601
PHONE: 502-375-8500
CONTACT: BOB PETERSON
EMAIL: bpeterson@frankfort.ky.gov

WATER
FRANKFORT PLANT BOARD
306 HICKORY DRIVE
FRANKFORT, KENTUCKY
WATER CONTACT: SHARISTA DUTTA
EMAIL: sdutta@fewp.com
PHONE: 502-395-3774

TELEPHONE
AT&T
1535 TWILIGHT TRAIL
FRANKFORT, KY 40601
PHONE: 502.221.5271
CONTACT: ART STROBL
EMAIL: as7779@att.com

STORM WATER
PUBLIC WORKS DEPARTMENT
315 WEST SECOND STREET
FRANKFORT, KENTUCKY 40601
PHONE: 502-375-8500
CONTACT: SARA ANDERSON
EMAIL: sanderson@frankfort.ky.gov

PLANNING
FRANKFORT PLANNING DEPARTMENT
315 WEST 2ND STREET
FRANKFORT, KY 40601
PHONE: (502) 352-2094
CONTACT: ERIC COCKLEY

STATE ROADS
TRANSPORTATION CABINET
DEPARTMENT OF HIGHWAYS
DISTRICT OFFICE NO. 5
8310 WESTPORT ROAD
LOUISVILLE, KY 40242
PHONE: (502) 210-5400



UNDERGROUND UTILITIES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LEGEND

- PROPERTY LINE
- FOUND MONUMENT
- AS NOTED ON SURVEY
- 24" LONG, 5/8" DIAMETER REBAR
- WITH ALUMINUM SURVEYOR'S CAP (SET, PLS 3350)
- MAG NAIL WITH ID TAG (SET, PLS 3350)
- RIGHT-OF-WAY
- MARKER
- CONTROL POINT / BENCHMARK
- STREET LIGHT (LP)
- POWER POLE (PP)
- TELEPHONE POLE (TP)
- FIRE HYDRANT (FH)
- LIGHT POLE (LP)
- POST INDICATOR VALVE (PIV)
- CLEAN OUT (CO)
- DOWNSPOUT (DS)
- SANITARY MANHOLE
- SIGNS
- STORM MANHOLE
- WATER VALVE (WV)
- WATER METER (WM)
- IRRIGATION CONTROL VALVE (ICV)
- GAS METER (GM)
- GAS VALVE (GV)
- ELECTRIC METER (EM)
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- PVC PLASTIC PIPE
- ADS PLASTIC PIPE
- CPP CORRUGATED PLASTIC PIPE
- VCP VITRIFIED CLAY PIPE
- MH MANHOLE
- INV. INVERT ELEVATION
- F.L. FLOW LINE ELEVATION
- T.G. SURFACE ELEVATION (TOP-OF-GRADE)
- T.R. SURFACE ELEVATION (TOP-OF-RIM)
- BOT. BOTTOM OF STRUCTURE
- LSA LANDSCAPING AREA
- DECIDUOUS TREE (LEAFY TREE)
- CONIFEROUS TREE (EVERGREEN)
- INDICATES ORIGIN OR OUTLET OF UTILITY OR PIPE IS UNKNOWN
- CHAIN LINK FENCE
- BOARD FENCE
- WATER LINE
- WATER LINE (PER PLAN)
- GAS LINE
- GAS LINE (PER PLAN)
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE/CABLE
- UNDERGROUND ELECTRIC
- UNDERGROUND ELECTRIC (PER PLAN)
- UNDERGROUND TELEPHONE/CABLE
- UNDERGROUND TELEPHONE (PER PLAN)
- UNDERGROUND CABLE (PER PLAN)
- UNDERGROUND STORM SEWER LINE (PER PLAN)
- UNDERGROUND SANITARY SEWER LINE (PER PLAN)

ZONING REQUIREMENTS

THE PROPERTY IS CURRENTLY ZONED CH (HIGHWAY COMMERCIAL DISTRICT)

HIGHWAY COMMERCIAL DISTRICT (CH)

- A) MINIMUM LOT SIZE - 1-1/2 ACRES ON SEPTIC TANK, NONE ON PUBLIC SEWER
- B) MINIMUM WIDTH - 65 FEET
- C) MINIMUM BUILDING LINE SETBACK - 30 FEET
- D) MINIMUM SIDE YARD - 0
- E) MINIMUM REAR YARD - NONE
- F) MAXIMUM LOT COVERAGE - 40%
- G) MAXIMUM HEIGHT - NONE

THE ZONING DISTRICT INFORMATION DEPICTED ON THIS RECORD PLAT WAS ACCURATE AS OF THE DATE OF APPROVAL AND EXECUTION BY THE PLANNING COMMISSION. HOWEVER, SUCH INFORMATION IS SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE APPROPRIATE AUTHORITY.

Per Plan REFERS TO EXISTING PLANS OR UTILITY MAPS FOR THE SUBJECT PROPERTY AND ITS VICINITY

ORIGIN OF BEARINGS AND COORDINATES

THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON KENTUCKY STATE PLANE, GRID NORTH, KENTUCKY STATE PLANE NORTH ZONE, NORTH AMERICAN DATUM OF 1983 [NAD 83 (2011)]. PARTICULARLY, THE BEARINGS AND COORDINATES ARE BASED ON A GNSS SURVEY UTILIZING A CARLSON BRX7 GNSS RECEIVER AND THE KYTC VRS SYSTEM.

THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. PARTICULARLY, THE ELEVATIONS ARE BASED ON A GNSS SURVEY UTILIZING A CARLSON BRX7 GNSS RECEIVER AND THE KYTC VRS SYSTEM.

METHOD OF SURVEY

THIS GROUND SURVEY WAS PREPARED USING A TRIMBLE S6 ROBOTIC TOTAL STATION, THE STATE PLANE COORDINATES SHOWN WERE DERIVED FROM A REAL-TIME (VIA CELLULAR COMMUNICATION) OBSERVATION UTILIZING A CARLSON BRX7 GNSS RECEIVER AND THE KYTC VRS SYSTEM.

SPOT ELEVATIONS

THE SPOT ELEVATIONS SHOWN AT THE FACE OF THE CONCRETE CURB (FC) ARE GIVEN TO THE PAVEMENT ELEVATION. ELEVATIONS AT THE TOP OF CURB ARE 0.5' HIGHER UNLESS NOTED OTHERWISE. ELEVATIONS GIVEN AT THE EDGES OF PAVEMENT ARE THE ACTUAL GRADES AT THOSE POINTS.

F.E.M.A. FLOOD HAZARD AREA

BASED ON AN INSPECTION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S MAP NUMBER 2107300117E WITH A DATE OF IDENTIFICATION OF DECEMBER 21, 2017 FOR COMMUNITY NUMBER 210075 IN THE CITY OF FRANKFORT, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY LIES, NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FEMA SPECIAL FLOOD HAZARD AREA. THE PROPERTY LIES WITHIN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SURVEYOR'S REPORT ON TITLE EXCEPTIONS

Exception items denoted with on the Survey

A review of the Exceptions to land title has been made under the direction and supervision of Kevin M. Phillips, a registered land surveyor in the State of Kentucky (LS #3350), hereinafter referred to as the Surveyor. Regarding said Exceptions, the Surveyor notes the following (text in **boldface** are Surveyor's comments):

Fidelity National Title Insurance Company, Order Number: 20251465CKY, with an effective date of: May 6, 2025 at 08:00 AM, referring to the properties located at US Route 127 S in Frankfort, Franklin County, KY 40601.

Schedule B - Section 11

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. **Not addressed by the surveyor as these are not survey items**
- Rights or claims of parties in possession not shown by the public records. **Not addressed by the surveyor as these are not survey items**
- Any encumbrance, violation, variation, adverse circumstance, boundary line overlap, or encroachment that would be disclosed by an accurate and complete land title survey of the Land. **Not addressed by the surveyor except to note that a survey of the property has been performed under the direction of Kevin M. Phillips (PLS 3350) of Eads Engineering, 771 Enterprise Drive, Lexington, Kentucky and is attached.**
- Easements or claims of easements, not shown by the public records. **Not addressed by the surveyor as these are not survey items**
- Any lien or right to a lien for services, labor, or equipment heretofore or hereafter furnished, imposed by law and not shown by the public records. **Not addressed by the surveyor as these are not survey items**
- Taxes or special assessments which are not shown as existing liens by the public records. **Not addressed by the surveyor as these are not survey items**
- Coal, oil, gas, limestone and other mineral interests in the Land and all rights and easements in favor of said coal, oil, gas, limestone and other minerals. **Not addressed by the surveyor as these are not survey items**
- Defects, liens, encumbrances, adverse claims or other matters, if any, creating, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires fee value of record, estate or interest or heretofore furnished, imposed by law and not shown by the public records. **Not addressed by the surveyor as these are not survey items**
- Taxes or assessments which are not shown as existing liens by either the public records or the records of any taxing authority that levies taxes or assessments on real property. **Not addressed by the surveyor as these are not survey items**
- Rights or claims of parties in possession not shown by the public records. **Not addressed by the surveyor as these are not survey items**
- Any encroachment, encumbrance, violation, variation or adverse circumstances affecting the Title that would be disclosed by an accurate and complete land survey of the Land. **Not addressed by the surveyor except to note that a survey of the property has been performed under the direction of Kevin M. Phillips (PLS 3350) of Eads Engineering, 771 Enterprise Drive, Lexington, Kentucky and is attached.**
- No liability is assumed for tax increases occasioned by retroactive revaluation change in land usage, or loss of any homestead exemption status for insured premises. **Not addressed by the surveyor as these are not survey items**
- Any inaccuracy of the specific quantity of acreage contained on any survey if not confirmed with the legal description of premises insured herein. **Not addressed by the surveyor except to note that a survey of the property has been performed under the direction of Kevin M. Phillips (PLS 3350) of Eads Engineering, 771 Enterprise Drive, Lexington, Kentucky and is attached.**
- Any covenant, condition or restriction referred to herein indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin is omitted as provided in 42 U.S.C. Section 3604, unless and only to the extent that the restriction:
 - is not in violation of state or federal law;
 - is exempt under 42 U.S.C. Section 3607; or
 - related to handicap, but does not discriminate against handicapped people.**Not addressed by the surveyor as these are not survey items**

- Easements or claims of easements not shown by the Public Records. **Not addressed by the surveyor as these are not survey items**
- Any coal, oil, gas, or other mineral rights hereto conveyed, excepted, reserved, or leased, together with all incidental rights therein. **Not addressed by the surveyor as these are not survey items**
- Any lien, or right to a lien for services, labor, or material not shown by the public records. **Not addressed by the surveyor as these are not survey items**
- Taxes for the year 2025, a lien not yet due and payable. **Not addressed by the surveyor as these are not survey items**
- Lien of 2023 City of Frankfort taxes, not yet due and payable. **Not addressed by the surveyor as these are not survey items**
- Conditions, stipulations, restrictions, building lines and easements, together with incidental rights, as provided for on the recorded plat of record in Plat Cabinet N, Slide 231, in the Office of the Clerk of Franklin County, Kentucky. **Affects the subject property insofar as the subject property is a portion of Lot 5, shown in said document. Platable items are shown on attached survey.**
- Conditions, stipulations, restrictions, building lines and easements, together with incidental rights, as provided for on the recorded plat of record in Plat Cabinet N, Slide 232, in the Office of the Clerk of Franklin County, Kentucky. **Affects the subject property. Platable items are shown on attached survey.**
- Conditions, stipulations, restrictions, building lines and easements, together with incidental rights, as provided for on the recorded plat of record in Plat Cabinet N, Slide 233, in the Office of the Clerk of Franklin County, Kentucky. **Affects the subject property insofar as the subject property is a portion of "The Paddocks of Frankfort", described in said document. There are no platable items affecting the subject property in said document.**
- Permit from Lena Reynolds LeCompte and H.C. LeCompte to American Telephone and Telegraph Company of Kentucky, dated February 10, 1930, of record in Deed Book 78, Page 268, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown.**
- Permit from Lena Reynolds LeCompte and H.C. LeCompte to Southern Bell Telephone and Telegraph Co., Incorporated, dated March 25, 1931, of record in Deed Book 79, Page 103, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown.**
- Permit from J.S. LeCompte and wife, to Southern Bell Telephone and Telegraph Co., Incorporated, dated November 19, 1931, of record in Deed Book 79, Page 104, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown.**
- Permit from H.G. LeCompte and wife, to Kentucky-Tennessee Light & Power Co., dated September 7, 1936, of record in Deed Book 84, Page 596, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown.**
- Right of Way from Lena LeCompte et al, to American Telephone and Telegraph Company, dated November 11, 1958, of record in Deed Book 157, Page 147, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown.**
- General Permit from Mrs. H.C. LeCompte et al, to Southern Bell Telephone and Telegraph Company, dated April 22, 1959, of record in Deed Book 158, Page 509, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown.**
- Easement retained in the Special Warranty Deed between Phillips Petroleum Company and D.B. Grugin Oil Company, Inc., dated September 5, 1969, of record in Deed Book 225, Page 372, in the Office of the Clerk of Franklin County, Kentucky. **The easement is not platable, therefore its effects on the subject property is unknown. The lands described in said document are located approximately 900 feet northwest of the subject property.**
- Utility Easement between Donald G. Parsons and his wife, Linda C. Parsons, and the Electric and Water Plant Board of the City of Frankfort, dated April 1999, of record in Deed Book 434, Page 475, in the Office of the Clerk of Franklin County, Kentucky. **The easement described in said document is located approximately \$50 feet southeast of the subject property.**
- Utility Easement between Landings Incorporated and the Electric and Water Plant Board of the City of Frankfort, dated May 16, 2002, of record in Deed Book 458, Page 864, in the Office of the Clerk of Franklin County, Kentucky. **Does not affect the subject property. The easement described in said document is located approximately 1,400 feet northwest of the subject property.**
- City of Frankfort Sewer Easement and Temporary Construction Easement between The Paddocks of Frankfort, LLC and City of Frankfort, dated September 25, 2023, of record in Deed Book 623, Page 613, in the Office of the Clerk of Franklin County, Kentucky. **Does not affect the subject property. The easement described in said document is located approximately 700 feet northwest of the subject property.**
- City of Frankfort Sewer Easement and Temporary Construction Easement between The Paddocks of Frankfort, LLC and City of Frankfort, dated September 25, 2023, of record in Deed Book 623, Page 617, in the Office of the Clerk of Franklin County, Kentucky. **Does not affect the subject property. The easement described in said document is located approximately 500 feet north of the subject property.**
- Subject to the out conveyance from TheCapital, LLC to Target Corporation, dated April 25, 2024, of record in Deed Book 627, Page 432, in the Office of the Clerk of Franklin County, Kentucky. **Does not affect the subject property. The property described in said document is located approximately 70 feet northeast of the subject property.**
- Operation and Easement Agreement between Target Corporation and TheCapital, LLC for The Paddocks of Frankfort, dated April 25, 2024, of record in Deed Book 627, Page 438, in the Office of the Clerk of Franklin County, Kentucky. **Affects the subject property insofar as the subject property is a portion of the "Devonshire Tract", being Lot 5 of Plat Cabinet N, Slide 231-233, referenced in Exhibit B and shown as depicted in Exhibit A of said document. There are no other platable items that affect the subject property.**
- Subject to the out conveyance from TheCapital, LLC to the City of Frankfort, dated October 16, 2024, of record in Deed Book 631, Page 590, in the Office of the Clerk of Franklin County, Kentucky. **Does not affect the subject property. The property described in said document is located approximately 1,900 feet northwest of the subject property.**
- Subject to the out conveyance from TheCapital, LLC to the City of Frankfort, dated January 29, 2025, of record in Deed Book 635, Page 552, in the Office of the Clerk of Franklin County, Kentucky. **Does not affect the subject property. The property described in said document is not a portion of the right-of-way of Vandalay Drive, located approximately 1,150 feet northwest of the subject property.**
- Stormwater Management/BMP Facilities Operation and Maintenance Agreement between TheCapital, LLC and the City of Frankfort/Franklin County, dated March 31, 2025, of record in Deed Book 636, Page 471, in the Office of the Clerk of Franklin County, Kentucky. **Affects the subject property insofar as the subject property is a portion of the property referenced in said document. There are no platable items in said document.**
- Memoirandum of Site Development Agreement by Target Corporation and TheCapital, LLC, dated April 25, 2024, of record in Mortgage Book 1736, Page 747, in the Office of the Clerk of Franklin County, Kentucky. **Affects the subject property insofar as the subject property is a portion of the "Devonshire Tract", being Lot 5, as shown in Plat Cabinet N, Slide 231-233, referenced in Exhibit B of said document. There are no platable items in said document.**

TITLE DESCRIPTION

Being Lot 4C, 0.918 Acre, More or Less as shown on a proposed "The Paddocks of Frankfort - Final Record Plat" by Vision Engineering, PLS # , dated ...

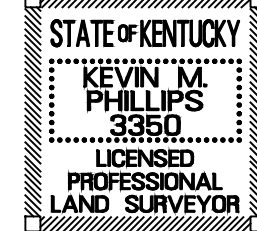
SURVEYOR'S CERTIFICATION

To: EXPRESS OIL CHANGE, LLC and FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13, 16, 17, 18 and 19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JULY 18, 2025.

DATE OF PLAT OR MAP: JULY 21, 2025.



KEVIN M. PHILLIPS, PLS # 3350

07-21-2025

DATE

The Paddocks of Frankfort - Lot 4C

Vandalay Drive

Frankfort, Franklin County, Kentucky

Prepared for:

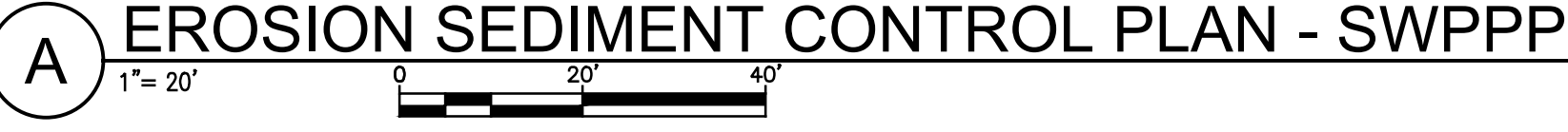
CMW, Inc. - 249 East Main Street, Suite 100 - Lexington, Kentucky 40507 - PH: 859-254-6623

This is NOT a boundary survey but complies with 201 KAR 18:150 otherwise

SURVEY COMPLETED 07-18-2025

JOB NUMBER 5349
DRAWING DATE July 21, 2025
DRAWING FILE 4980 First Watch Frankfort.dwg
SCALE: 1" = 20'

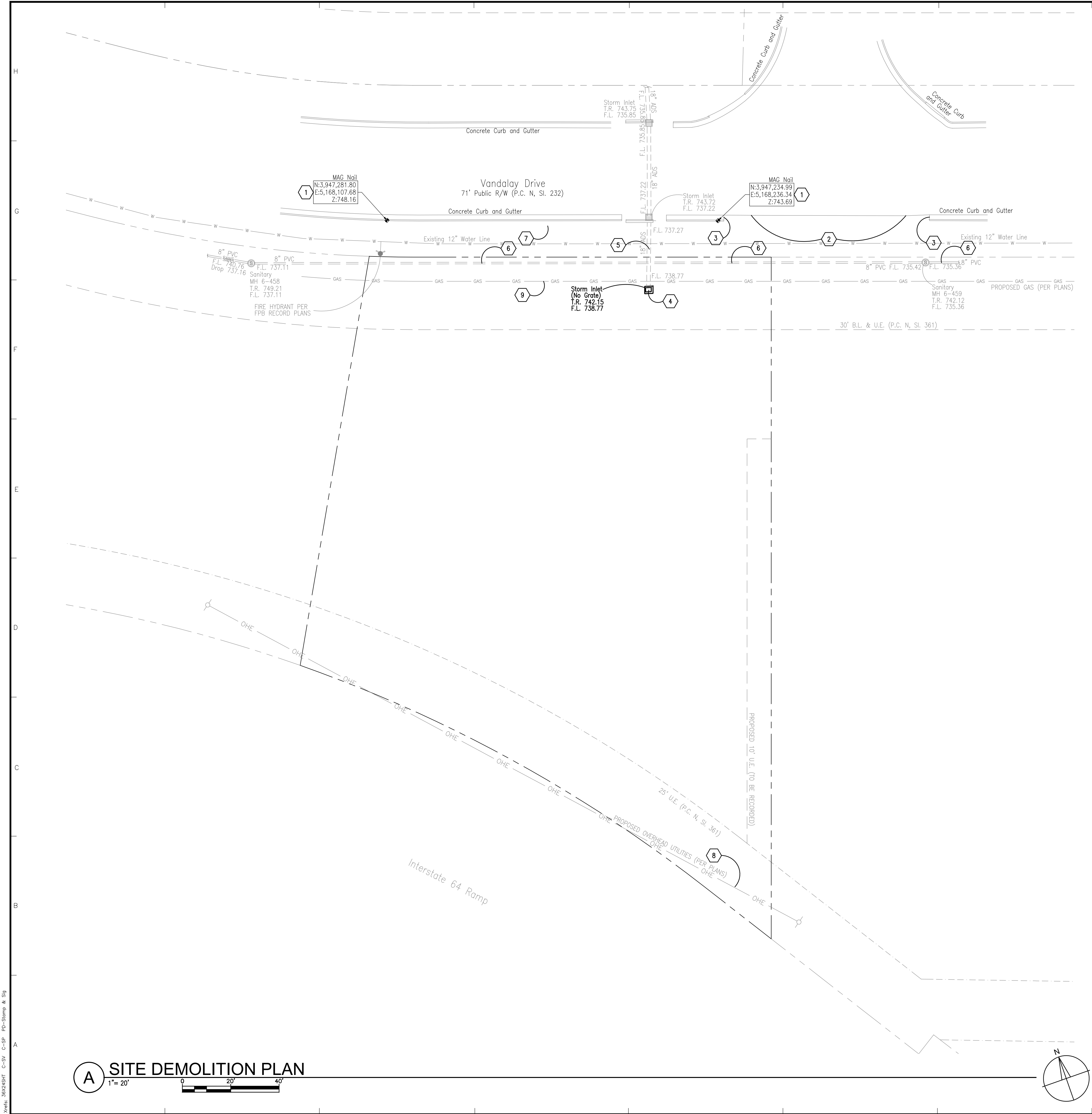
Sheet 1 of 1



Project Number
25019.01

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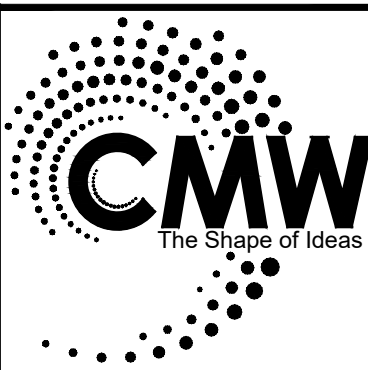


GENERAL NOTES

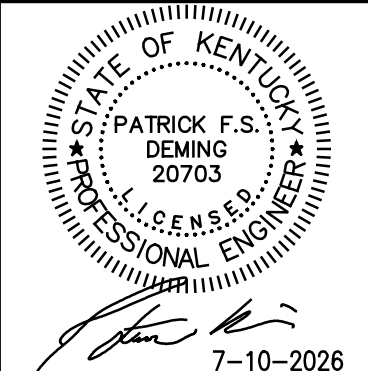
- A. MATERIALS TO BE REMOVED AND NOT TURNED OVER TO THE OWNER OR REUSED ARE TO BE DISPOSED OF IN AN APPROVED LANDFILL.
- B. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO REMAINING STRUCTURES, PAVEMENT, UTILITIES, ETC. AND MUST REPAIR DAMAGE RESULTING FROM CONSTRUCTION OF THIS PROJECT.
- C. TEMPORARY BENCHMARKS LOCATED WITHIN DISTURBED AREAS ARE TO BE RELOCATED BY CONTRACTOR TO PROTECTED LOCATIONS PRIOR TO DEMOLITION.
- D. UTILITIES ARE TO REMAIN AND TO BE PROTECTED THROUGHOUT CONSTRUCTION ACTIVITIES.
- E. CONTRACTOR IS TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITY LINES. THE LOCATION AND ELEVATIONS OF THE EXISTING UTILITIES ARE BASED ON THE RECORDS OF THE RESPECTIVE UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE EXISTING UTILITY INFORMATION IS NOT TO BE TAKEN AS EXACT OR COMPLETE. THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANIES AND APPROPRIATE AGENCIES AT LEAST 72 HOURS BEFORE EXCAVATION FOR EXACT FIELD LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS. DIAL 811 TO CONTACT B.U.D. FOR LOCATION OF EXISTING UTILITIES.
- F. CONTRACTOR TO REMOVE EXISTING VEGETATION AS REQUIRED TO FULFILL THE DESIGN INTENT OF THIS PROJECT.
- G. DEMOLITION ACTIVITIES ARE TO BE SEQUENCED SUCH THAT SERVICE IS MAINTAINED TO ALL ADJACENT PROPERTIES FOR THE DURATION OF THE PROJECT. CONTRACTOR TO NOTIFY AFFECTED PROPERTY OWNER 72 HOURS PRIOR TO ANY TEMPORARY RESTRICTIONS.
- H. CONTRACTOR IS TO ENSURE THAT PROPER EROSION CONTROL DEVICES ARE IN PLACE PRIOR TO DEMOLITION.
- I. DOCUMENT LOCATIONS OF FOUND UTILITIES AND MISCELLANEOUS UNDERGROUND AMENITIES.
- J. DEMOLITION NECESSARY FOR CONSTRUCTION OF THIS PROJECT, WHETHER INDICATED OR NOT, MUST BE DONE BY THE CONTRACTOR AND IS INCIDENTAL TO THE CONTRACT AMOUNT. EVERY EFFORT HAS BEEN MADE TO IDENTIFY THE SITE DEMOLITION REQUIRED.
- K. KENTUCKY TRANSPORTATION CABINET (KYTC) STANDARD SPECIFICATIONS ARE PART OF THIS DEMOLITION PLAN AND ARE READILY AVAILABLE AT [HTTP://TRANSPORTATION.KY.GOV/CONSTRUCTION/PAGES/KENTUCKY-STANDARD-SPECIFICATIONS.ASPX](http://TRANSPORTATION.KY.GOV/CONSTRUCTION/PAGES/KENTUCKY-STANDARD-SPECIFICATIONS.ASPX). CONTRACTOR MUST KEEP A COPY OF THE APPLICABLE KYTC STANDARD SPECIFICATIONS ON-SITE FOR REFERENCE.
- L. CONTRACTOR TO MAINTAIN TRAFFIC ON THE PUBLIC ROADWAYS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD IS AVAILABLE AT [HTTPS://MUTCD.FHWA.DOT.GOV/PDFS/11TH_EDITION/MUTCD11THEDITION.PDF](https://MUTCD.FHWA.DOT.GOV/PDFS/11TH_EDITION/MUTCD11THEDITION.PDF)
- M. BURNING OF TREES / BRUSH IS NOT PERMITTED.
- N. TREES NOT NOTED TO BE REMOVED ARE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION ACTIVITIES.

KEYED NOTES

- 1. BENCHMARKS THAT COULD BE AFFECTED BY NEW CONSTRUCTION SHOULD BE RELOCATED BY THE CONTRACTOR PRIOR TO DEMOLITION.
- 2. SAWCUT AND REMOVE PAVEMENT TO PROVIDE CLEAN EDGE KEY FOR NEW ENTRANCE.
- 3. SAWCUT AND REMOVE A PORTION OF CURB & GUTTER AS NECESSARY FOR NEW ENTRANCE.
- 4. REMOVE EXISTING STORM INLET. COORDINATE WITH SITE DRAINAGE PLAN C-104 FOR NEW STRUCTURE.
- 5. STORM SEWER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 6. SANITARY SEWER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 7. APPROXIMATE LOCATION OF 12" WATER MAIN PER RECORD PLANS, EXACT LOCATION TO BE FIELD DETERMINED BY CONTRACTOR. WATER MAIN WAS NOT IN PLACE AT THE TIME OF SURVEY. WATER MAIN TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 8. APPROXIMATE LOCATION OF OVERHEAD ELECTRIC AND COMMUNICATION LINES & POLES PER RECORD PLANS, EXACT LOCATION TO BE FIELD DETERMINED BY CONTRACTOR. ELECTRIC AND COMMUNICATION LINES WERE NOT IN PLACE AT THE TIME OF SURVEY. OVERHEAD ELECTRIC AND COMMUNICATION LINES TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 9. APPROXIMATE LOCATION OF PROPOSED GAS MAIN PER RECORD PLANS, EXACT LOCATION TO BE FIELD DETERMINED BY CONTRACTOR. GAS MAIN WAS NOT IN PLACE AT THE TIME OF SURVEY. CONTRACTOR TO COORDINATE WITH THE GAS COMPANY TO ENSURE THE GAS MAIN IS INSTALLED AT THE PROPER LOCATION AND ELEVATION TO AVOID NEW CONSTRUCTION.



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SITE DEMOLITION PLAN
EXPRESS OIL CHANGE & TIRE ENGINEERS
2501 VANDALAY DRIVE
FRANKFORT, KENTUCKY

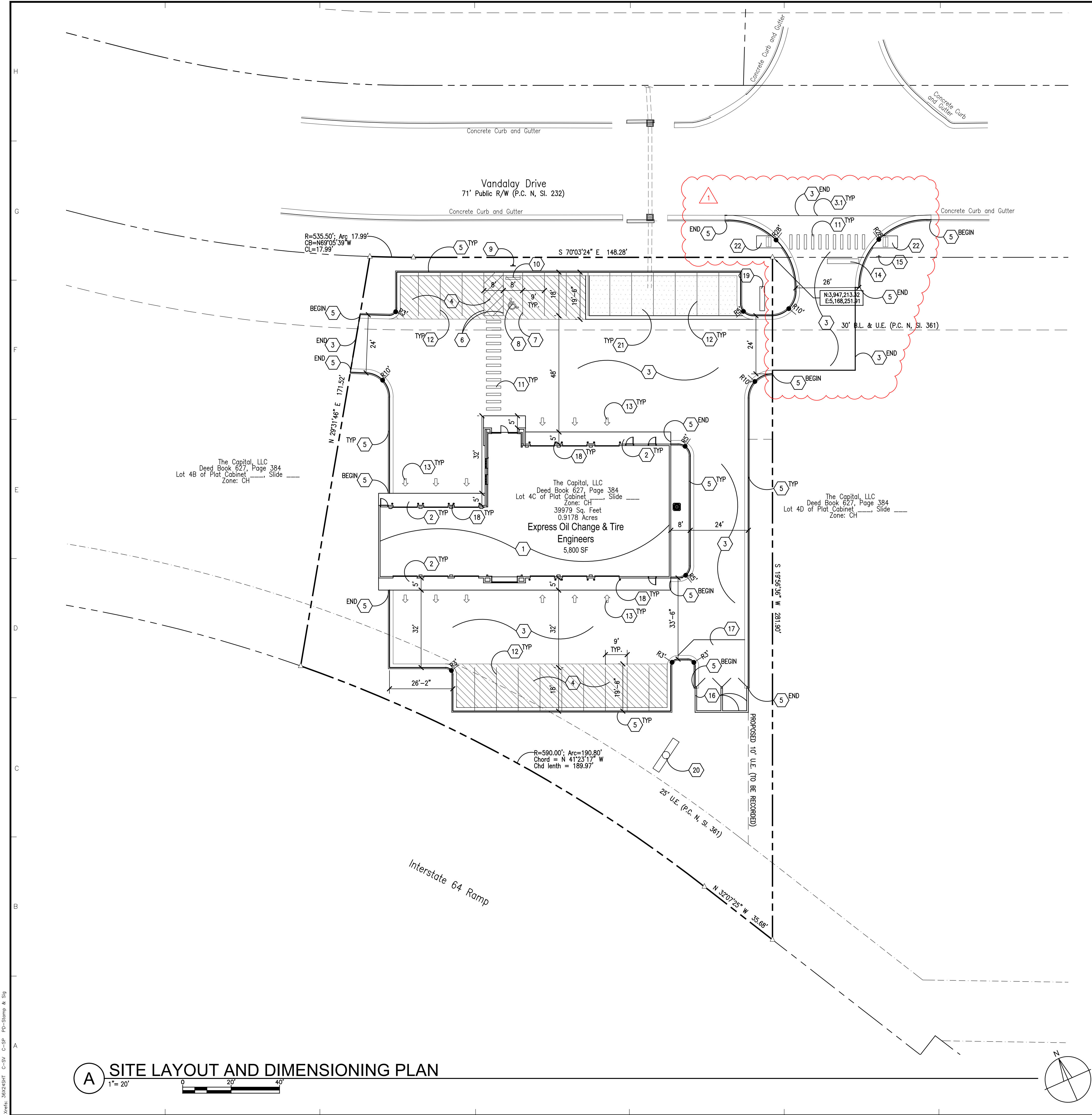
ISSUED FOR CONSTRUCTION

Issue Date:	JUNE 2026
Drawn By:	XX
Checked By:	--
Revisions:	
	07-10-2026
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Mark	Date

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25019.01
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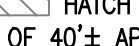
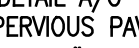
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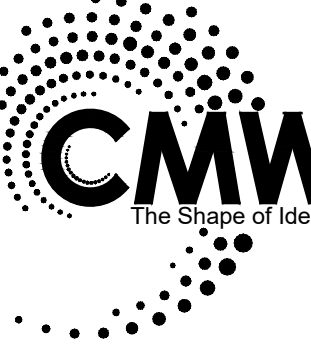
GENERAL NOTES

- DIMENSIONS ARE TO THE FACE OF BUILDING, FACE OF CURB, EDGE OF PAVEMENT, AND/OR CENTER OF STRIP, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE PARALLEL / PERPENDICULAR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- CURB RADII ARE 3'-0", UNLESS OTHERWISE NOTED.
- EXPANSION JOINT REQUIRED WHERE NEW CONCRETE ABUTS EXISTING CONCRETE, BUILDINGS/ FOUNDATIONS, AND ANY OTHER FIXED OBJECTS. EXPANSION JOINTS REQUIRED MAXIMUM 40' O.C. AND WITHIN THE SPACING MODULE OF THE CONTROL JOINTS.
- EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITY LINES. EXISTING UTILITY INFORMATION IS NOT TO BE TAKEN AS EXACT OR COMPLETE. CONTRACTOR MUST NOTIFY THE UTILITY COMPANIES AND APPROPRIATE AGENCIES AT LEAST 72 HOURS BEFORE EXCAVATION FOR EXACT FIELD LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS. DIAL 811 TO CONTACT B.U.D. FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY STRUCTURE, PAVEMENT, UTILITY, PIPE, ETC. TO REMAIN AND SHALL REPAIR OR REPLACE THE DAMAGED ITEM AS NECESSARY TO RETURN IT TO PRE-CONSTRUCTION CONDITIONS WITH THE COST BEING INCIDENTAL TO THE CONTRACT AMOUNT.
- DOCUMENT LOCATIONS OF FOUND UTILITIES AND MISCELLANEOUS UNDERGROUND AMENITIES.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO LAYOUT FOR NEW CONSTRUCTION.
- KENTUCKY TRANSPORTATION CABINET (KYTC) STANDARD SPECIFICATIONS ARE PART OF THESE PLANS AND ARE READILY AVAILABLE AT [HTTP://TRANSPORTATION.KY.GOV/CONSTRUCTION/PAGES/KENTUCKY-STANDARD-SPECIFICATIONS.ASPX](http://TRANSPORTATION.KY.GOV/CONSTRUCTION/PAGES/KENTUCKY-STANDARD-SPECIFICATIONS.ASPX). CONTRACTOR MUST KEEP A COPY OF THE APPLICABLE KYTC STANDARD SPECIFICATIONS ON-SITE FOR REFERENCE.
- CONTRACTOR TO MAINTAIN TRAFFIC ON THE PUBLIC ROADWAYS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD IS AVAILABLE AT [HTTPS://MUTCD.FHWA.DOT.GOV/PDFs/11TH_EDITION/MUTCD11THEDITION.PDF](https://mutcd.fhwa.dot.gov/PDFs/11TH_EDITION/MUTCD11THEDITION.PDF)

KEYED NOTES

- SEE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.
- 5'-0" WIDE STRIP OF CONCRETE PAVEMENT ALONG THE FRONT AND BACK OF THE BUILDING PER DETAIL C/C-110. PROVIDE TOOLED CONTROL JOINTS EQUALLY SPACED AT 5'± O.C. PER DETAIL E/C-110. PROVIDE EXPANSION JOINTS WITHIN THE SPACING MODULE OF THE CONTROL JOINTS AT A MAXIMUM OF 40'± APART AND WHERE NEW CONCRETE ABUTS THE BUILDING & ABUTS EXISTING CONCRETE PER DETAIL D/C-110.
- HEAVY DUTY ASPHALT PAVEMENT AND BASE PER DETAIL AA/C-110.
- EDGE KEY NEW ASPHALT SURFACE INTO EXISTING ASPHALT PAVEMENT PER DETAIL N/C-110.
- LIGHT DUTY ASPHALT PAVEMENT AND BASE IN THE PARKING SPACES SHOWN WITH A  HATCH PER DETAIL A/C-110.
- CONCRETE CURB AND GUTTER PER DETAIL B/C-110. PROVIDE JOINTS AT A MAXIMUM OF 40'± APART, AT ANGLE CHANGES OF DIRECTION, AT RADII POINTS OF INTERSECTION, WHERE NEW CONCRETE ABUTS THE BUILDING, AND WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- ACCESSIBLE AISLE WITH 6" WIDE BLUE THERMOPLASTIC BORDER AND 6" WIDE BLUE THERMOPLASTIC STRIPES AT 45° ANGLE AND 3' O.C. TYPICAL OF ALL ACCESSIBLE AISLES. THERMOPLASTIC TO MEET KYTC STD SPEC 717.
- 4" BLUE THERMOPLASTIC STRIPE ADJACENT TO AN ACCESSIBLE SPACE PER KYTC STD SPEC 717.
- BLUE THERMOPLASTIC ACCESSIBLE PARKING SYMBOL PER DETAIL F/C-110, TYPICAL. PROVIDE SYMBOL AT EVERY ACCESSIBLE SPACE.
- ACCESSIBLE PARKING SIGN CENTERED ON EACH ACCESSIBLE SPACE PER DETAIL G-1/C-110.
- PROVIDE ULINE 6" RUBBER WHEELSTOP, MODEL NO. H-4608B/Y, OR APPROVED EQUIVALENT AT EACH ACCESSIBLE SPACE. LOCATE 3' FROM EDGE OF PAVEMENT. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- CROSSWALK MARKINGS TO BE WHITE THERMOPLASTIC PER DETAIL J/C-110 MEETING KYTC STD SPEC 717.
- 4" WHITE SOLID PARKING STRIPE PERMANENT PAINT PER KYTC STD SPEC 713, TYPICAL.
- ARROW PAVEMENT MARKING PER DETAIL H/C-110. ARROWS TO BE REFLECTIVE DURABLE WHITE PAINT PER KYTC STD SPEC 714.
- 24" WIDE STOP BAR TO BE WHITE THERMOPLASTIC PER KYTC STD SPEC 717.
- 'STOP' SIGN PER DETAIL G-2/C-110 AND CITY REQUIREMENTS.
- COORDINATE WITH BUILDING PLANS FOR DUMPSTER ENCLOSURE, GATE, AND BOLLARD DETAILS.
- HEAVY DUTY CONCRETE PAVEMENT WITHIN AND EXTENDING 20'-0" BEYOND THE DUMPSTER ENCLOSURE PER DETAIL C/C-110. PROVIDE TOOLED CONTROL JOINTS EQUALLY SPACED AT 10'± O.C. PER DETAIL E/C-110. PROVIDE EXPANSION JOINTS WHERE NEW CONCRETE ABUTS THE DUMPSTER ENCLOSURE WALL & ABUTS EXISTING CONCRETE PER DETAIL D/C-110.
- STEEL PIPE BOLLARDS BETWEEN ALL BAY DOORS AT BUILDING CORNERS AND ON EACH SIDE OF THE GAS METER. COORDINATE WITH BUILDING PLANS FOR DETAILS.
- GROUND MOUNTED MONUMENT SIGN. COORDINATE WITH SITE UTILITIES PLAN FOR ELECTRIC CONDUIT.
- POLE MOUNTED MONUMENT SIGN. COORDINATE WITH SITE UTILITIES PLAN FOR ELECTRIC CONDUIT.
- PERVIOUS PAVERS SHOWN WITH A  PATTERN WITH 18" CONCRETE BORDER PER DETAIL A/C-111. COORDINATE WITH THE SITE DRAINAGE PLAN C-104 FOR THE CRUSHED STONE WATER QUALITY BASIN UNDER THE PERVIOUS PAVERS.
- 5'-0" WIDE CONCRETE SIDEWALK RAMP PER KYTC STD DWG RPM-170 TYPE 1. PROVIDE 24" WIDE DETECTABLE WARNING PAVERS AT BOTTOM OF THE RAMP PER KYTC STD DWG RDX-040. RAMP TO BE CONSTRUCTED WITH 4" OF CLASS A CONCRETE, 4" COMPACTED DEPTH DGA BASE, AND A MEDIUM BROOM FINISH PERPENDICULAR TO THE FLOW OF TRAFFIC.

NOTES:
• ENTRANCE CURB AND PAVEMENT REVISED TO MATCH NEIGHBORS DEVELOPMENT PLANS.



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7-10-2026

SITE LAYOUT AND DIMENSIONING PLAN

EXPRESS OIL CHANGE & TIRE ENGINEERS

2501 VANDALAY DRIVE

FRANKFORT, KENTUCKY

ISSUED FOR CONSTRUCTION

Issue Date: JUNE 2026
Drawn By: XX
Checked By: -
Revisions:

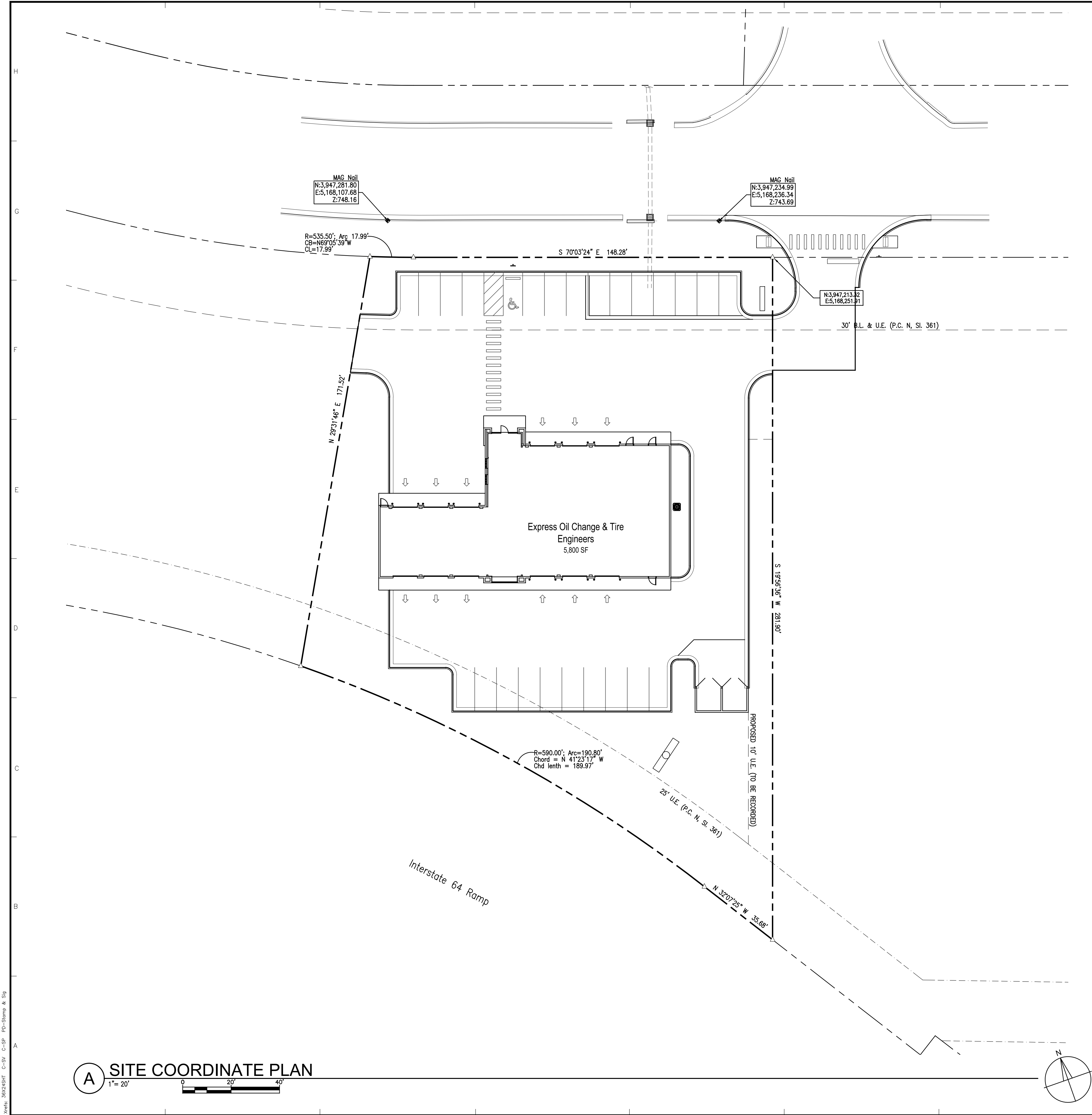
Rev	Date	Description
1	07-10-2026	ENTRANCE CURB AND PAVEMENT REVISED TO MATCH NEIGHBORS DEVELOPMENT PLANS.

Mark Date
AHJ SEAL

Project Number
25019.01

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C-102



GENERAL NOTES

A. CONTRACTOR TO FIELD VERIFY COORDINATES PRIOR TO LAYOUT FOR NEW CONSTRUCTION.

COORDINATES

NOTE: CAD FILE WILL BE ISSUED TO THE AWARDED CONTRACTOR AFTER APPROVALS FROM AUTHORITIES HAVING JURISDICTION ARE COMPLETE.

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STATE OF KENTUCKY
PATRICK F. S.
DEMING
20703
A.L.C.E.A.S.E.
PROFESSIONAL ENGINEER
7-10-2026

SITE COORDINATE PLAN
EXPRESS OIL CHANGE & TIRE ENGINEERS
2501 VANDALAY DRIVE
FRANKFORT, KENTUCKY

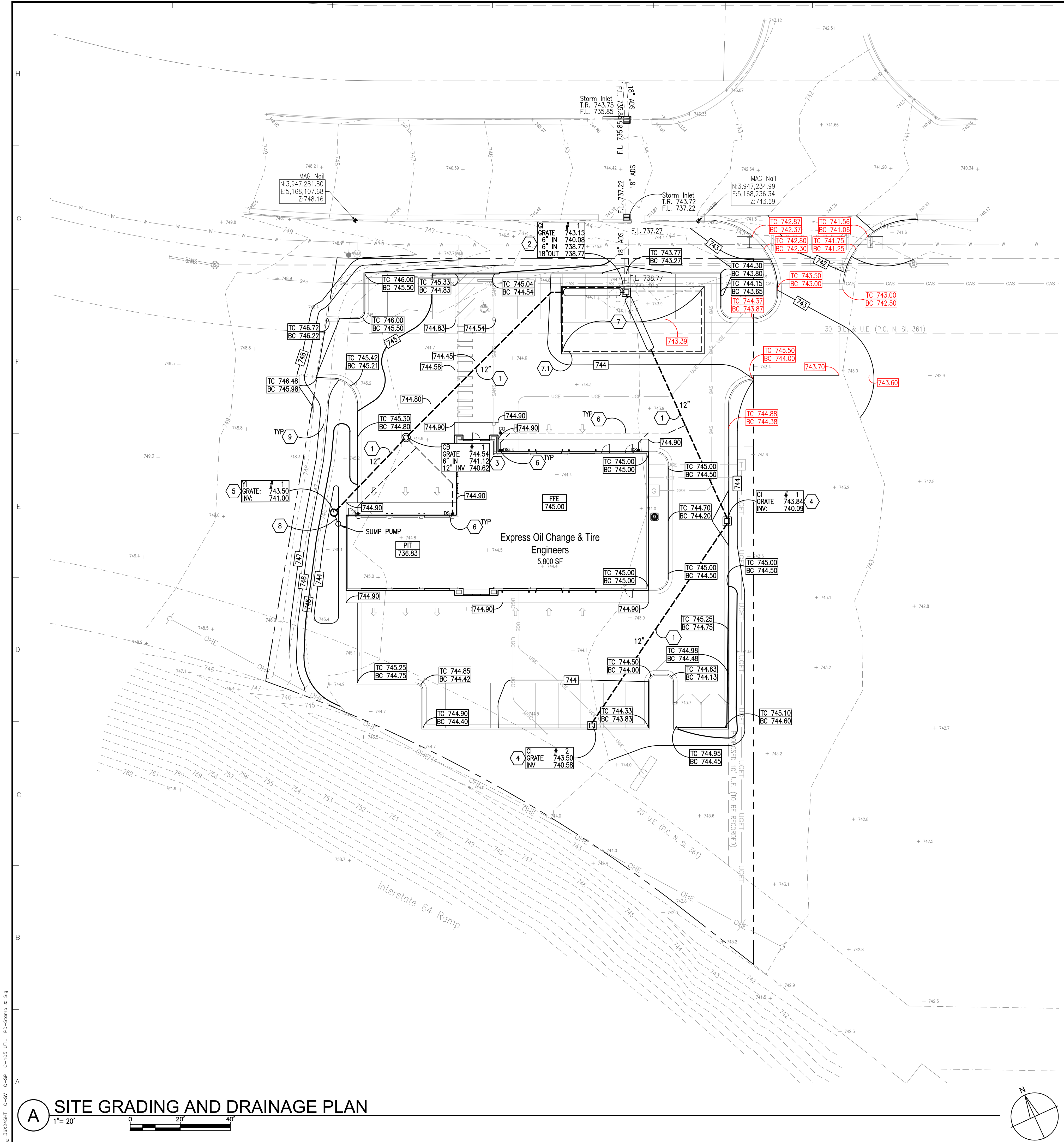
ISSUED FOR CONSTRUCTION	
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Checked By:	--
Revisions:	07-10-2026
	-
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Mark	Date

AHJ SEAL

Project Number
25019.01

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C-103



GENERAL NOTES

- EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITY LINES. EXISTING UTILITY INFORMATION IS NOT TO BE TAKEN AS EXACT OR COMPLETE. CONTRACTOR MUST NOTIFY THE UTILITY COMPANIES AND APPROPRIATE AGENCIES AT LEAST 72 HOURS BEFORE EXCAVATION FOR EXACT FIELD LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS. DIAL 811 TO CONTACT B.U.D. FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS AND INVERT ELEVATIONS OF DRAINAGE STRUCTURES PRIOR TO ANY DEMOLITION AND NEW CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY STRUCTURE, PAVEMENT, UTILITY, PIPE, ETC. TO REMAIN AND SHALL REPAIR OR REPLACE THE DAMAGED ITEM AS NECESSARY TO RETURN IT TO PRE-CONSTRUCTION CONDITIONS WITH THE COST BEING INCIDENTAL TO THE CONTRACT AMOUNT.
- MAXIMUM CROSS-SLOPE OF WALK TO BE 1.8%.
- MEET EXISTING GRADES OF ADJACENT FEATURES WITH A SMOOTH FLUSH CONNECTION.
- STORM SEWER PIPE IS TO BE CONNECTED TO STRUCTURES WITH NON-SHRINK GROUT MEETING KYTC SPECIFICATIONS.
- CONTRACTOR SHALL ADHERE TO TERMS AND CONDITIONS OF K.P.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES.
- UNPAVED AREAS DISTURBED DURING CONSTRUCTION ARE TO BE SEEDDED WITH STRAW MULCH. SPREAD A MINIMUM OF 4" GOOD, CLEAN, WEED FREE TOPSOIL PRIOR TO SEEDING.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE IN ALL LAWNS AND PAVEMENT.
- STORM PIPE IS TO BE PROPERLY TRENCHED AND JACKETED WITH COMPACTED CRUSHED STONE.
- STORM AND UTILITY VALVES, BOXES, AND MANHOLE LIDS REMAINING WITHIN THE PROJECT AREA ARE TO BE ADJUSTED FLUSH WITH FINISHED GRADE WHETHER INDICATED OR NOT.
- COORDINATE WITH SURVEY FOR TEMPORARY BENCHMARK LOCATIONS. RELOCATE BENCHMARKS PRIOR TO DEMO / GRADING ACTIVITIES AS NECESSARY.
- KENTUCKY TRANSPORTATION CABINET (KYTC) STANDARD SPECIFICATIONS ARE PART OF THESE PLANS AND ARE READILY AVAILABLE AT [HTTP://TRANSPORTATION.KY.GOV/CONSTRUCTION/PAGES/KENTUCKY-STANDARD-SPECIFICATIONS.ASPX](http://TRANSPORTATION.KY.GOV/CONSTRUCTION/PAGES/KENTUCKY-STANDARD-SPECIFICATIONS.ASPX). CONTRACTOR TO KEEP COPY OF THE APPLICABLE KYTC STANDARD SPECIFICATIONS ON-SITE FOR REFERENCE.
- KYTC STANDARD DRAWINGS ARE PART OF THESE PLANS AND ARE READILY AVAILABLE AT [HTTP://TRANSPORTATION.KY.GOV/HIGHWAY-DESIGN/PAGES/STANDARD-DRAWINGS.ASPX](http://TRANSPORTATION.KY.GOV/HIGHWAY-DESIGN/PAGES/STANDARD-DRAWINGS.ASPX). CONTRACTOR MUST KEEP A COPY OF THE APPLICABLE KYTC STANDARD DRAWINGS ON-SITE FOR REFERENCE.
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- ALL PAVEMENT SUB-GRADE MUST BE SLOPED TO DRAIN TOWARD DRAINAGE STRUCTURES AND PIPES.
- COMPLETELY BACKFILL ALL SIDES OF ALL DRAINAGE STRUCTURES AND PIPES WITH COMPACTED CRUSHED STONE TO ALLOW WATER SEEPING UNDER THE PAVEMENT TO DRAIN OUT.
- ALL UNDERGROUND UTILITIES AND DRAINS REQUIRE AS-BUILT SURVEY. GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE WITH LOCAL AUTHORITIES HAVING JURISDICTION ON AS-BUILT REQUIREMENTS.
- SITE SUB-GRADE (ONCE PROPERLY CLEARED AND BENCHMARKED) TO BE PROOF-ROLLED BY THE CONTRACTOR WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. AREAS THAT PUMP, RUT OR WAVE AFTER THE SECOND PROOF-ROLL TO BE UNDERCUT AND REPLACED WITH ENGINEERED FILL UNTIL THE SITE SUB-GRADE PASSES PROOF-ROLL.
- SELECT ON-SITE SOILS TESTED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER CAN BE USED AS ENGINEERED FILL PROVIDED MATERIALS ARE PLACED AND COMPACTED AT THE PROPER MOISTURE CONTENT WITH NO ORGANICS AND NO LARGE ROCK. COORDINATE WITH GEOTECHNICAL ENGINEERING REPORT.
- PAVEMENT SUB-GRADE TO BE PROOF-ROLLED BY CONTRACTOR WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. AREAS THAT PUMP, RUT OR WAVE AFTER THE SECOND PROOF-ROLL TO BE UNDERCUT AND REPLACED WITH ENGINEERED FILL UNTIL THE PAVEMENT SUB-GRADE PASSES PROOF-ROLL.
- COORDINATE WITH THE GEOTECHNICAL REPORT AND BUILDING PLANS FOR EARTHWORK WITHIN THE BUILDING FOOTPRINT.

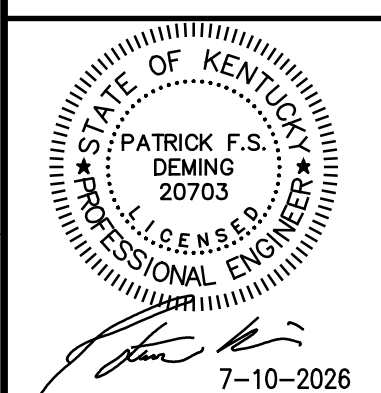
KEYED NOTES

- 12" DUAL WALL HDPE STORM SEWER PIPE (ADS N-12, OR APPROVED EQUIVALENT) PER DETAIL L/C-110, TYPICAL.
- PRECAST CONCRETE GRATE INLET (GI) WITH 24" SQUARE CHAMBER AND JR HOE MODEL MCS-320 PEDESTRIAN GRATE, OR APPROVED EQUIVALENT. CONNECT GI #1 TO EXISTING 18" HDPE PIPE USING THE BELL OF A SHORT LENGTH OF NEW PIPE PER DETAIL O/C-110.
- PRECAST CONCRETE CATCH BASIN (CB) WITH 24" ROUND CHAMBER AND JR HOE MODEL MCB-375 PEDESTRIAN GRATE, OR APPROVED EQUIVALENT.
- PRECAST CONCRETE CURB INLET (CI) PER KYTC STD DWG RDB-320.
- YARD INLET (YI) TO BE NYLOPLAST DRAIN BASIN WITH A DOME GRATE, OR APPROVED EQUIVALENT.
- DOWNSPOUT (DS) BOOT CONNECTION TO ROOF DRAIN PER DETAIL P/C-110, TYPICAL. PROVIDE CLEANOUT (CO) AT THE BEGINNING OF THE ROOF DRAIN PER DETAIL M/C-110. CONNECT ROOF DRAIN TO STORM SEWER WITH ADS INSERTA TEE, OR APPROVED EQUIVALENT. EXACT ROUTE TO BE FIELD DETERMINED BY CONTRACTOR. COORDINATE WITH BUILDING PLANS FOR EXACT NUMBER OF AND LOCATION OF DOWNSPOUTS. DOWNSPOUT BOOTS TO BE PAINTED TO MATCH BUILDING, COORDINATE WITH ARCHITECT.
- CRUSHED STONE WATER QUALITY BASIN UNDER THE PERVIOUS PAVERS WITH A CHAMBER SYSTEM TO CIRCULATE STORM WATER THROUGH THE CRUSHED STONE PER DETAIL B/C-111. BASIN TO BE 57'-0" LONG x 27'-0" WIDE x 40" DEEP OF NO. 57 CRUSHED STONE WRAPPED WITH NON-WOVEN FILTER FABRIC. CHAMBERS TO BE ADS STORMTECH SC-310 CHAMBERS, OR APPROVED EQUIVALENT. CHAMBER SYSTEM TO INCLUDE TWO (2) ROWS WITH EACH ROW HAVING THREE CHAMBERS, ONE END CAP WITH 12" INLET IN THE BOTTOM, ONE END CAP WITH 6" OUTLET IN THE TOP, AND ALL ACCESSORIES NECESSARY FOR A COMPLETE AND FUNCTIONAL UNDERGROUND CHAMBER SYSTEM. THERE MUST BE LAYER OF WOVEN HIGH-STRENGTH PERMEABLE FILTER FABRIC BETWEEN THE CHAMBERS AND FOUNDATION STONE. CONTRACTOR MUST PROOF-ROLL THE SUB-GRADE UNDER THE CRUSHED STONE BASIN WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. SUB-GRADE THAT FAILS PROOF-ROLL MUST BE UNDER-CUT, REPLACED, AND PROOF-ROLLED AGAIN. COORDINATE WITH THE SITE LAYOUT PLAN C-102 FOR THE PERVIOUS PAVERS.
- 6" DUAL WALL HDPE PERFORATED EDGE DRAIN PIPE LOOPING AROUND THE BOTTOM OF THE NO. 57 CRUSHED STONE BASIN CONNECTED TO GI #1 IN TWO LOCATIONS PER DETAIL B/C-111.
- EXTEND 2" DISCHARGE PIPE FROM BUILDING SUMP PUMP TO NEAREST DRAIN INLET WITH AT LEAST 18" COVER DEPTH. COORDINATE WITH BUILDING PLANS FOR EXACT LOCATION AND DETAILS OF PIT, SUMP PUMP, AND DISCHARGE PIPE.
- RUN TRACKED MACHINERY UP & DOWN SLOPES 3:1 OR STEEPER LEAVING IMPRINTS PARALLEL TO THE SLOPE CONTOUR PRIOR TO APPLYING SOD, TYPICAL.

NOTES:
ENTRANCE ELEVATIONS REVISED TO WORK WITH NEIGHBORS DEVELOPMENT PLANS.

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The Shape of Ideas

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SITE GRADING AND DRAINAGE PLAN
EXPRESS OIL CHANGE & TIRE ENGINEERS
2501 VANDALAY DRIVE
FRANKFORT, KENTUCKY

ISSUED FOR CONSTRUCTION

Issue Date:	JUNE 2026
Drawn By:	--
Checked By:	--
Revisions:	
1	07-10-2026
2	-
3	-
4	-
Mark	Date
AHJ SEAL	

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25019.01

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C-104

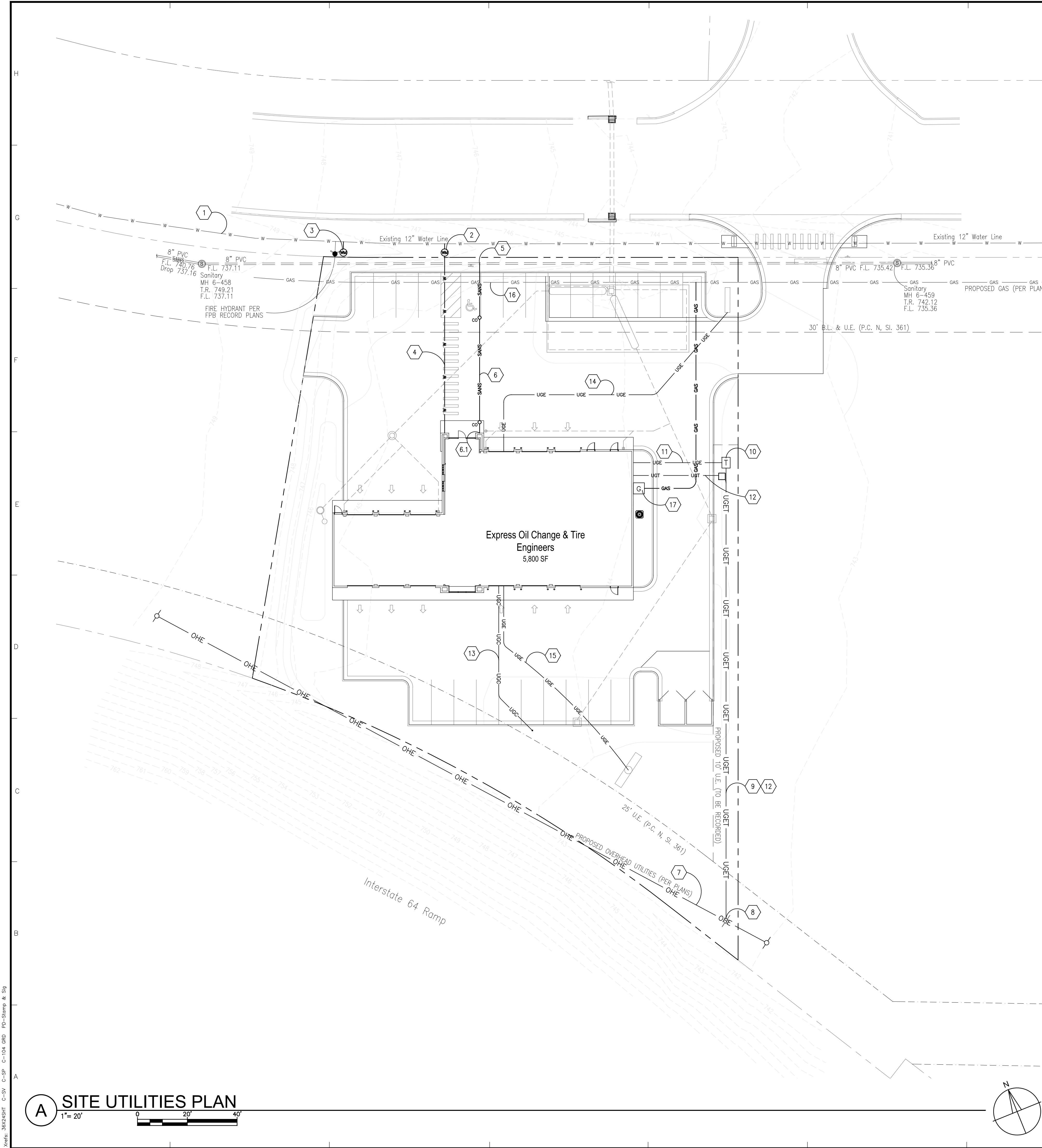
A SITE GRADING AND DRAINAGE PLAN

1"= 20'

0 20' 40'

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PLOT DATE: FRID, JAN 10, 2026 3:12:32 PM



GENERAL NOTES

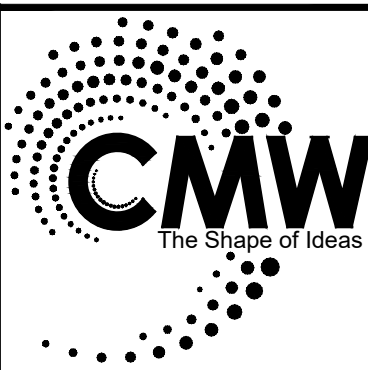
- PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SCHEMATIC. EXACT ROUTES AND LOCATIONS TO BE FIELD DETERMINED BY CONTRACTOR IN COORDINATION WITH THE BUILDING PLANS AND RESPECTIVE UTILITY COMPANIES.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITY LINES. EXISTING UTILITY INFORMATION IS NOT TO BE TAKEN AS EXACT OR COMPLETE. CONTRACTOR MUST NOTIFY THE UTILITY COMPANIES AND APPROPRIATE AGENCIES AT LEAST 72 HOURS BEFORE EXCAVATION FOR EXACT FIELD LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS. DIAL 811 TO CONTACT B.U.D. FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE WORK WITH THE UTILITY COMPANIES PRIOR TO BID AND DURING CONSTRUCTION; PROVIDE ITEMS REQUIRED BY THE UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, TRENCHING, BACKFILL, CONDUIT, ETC; AND VERIFY CONDUIT SIZE, BURIAL DEPTH, SEPARATION, PULL STRINGS, BUILDING ANCHORS, ETC. PRIOR TO BID.
- CONTRACTOR IS TO VERIFY EXISTING UTILITIES IN THE FIELD PRIOR TO ORDERING MATERIALS AND INSTALLATION OF NEW LINES.
- CASING SLEEVES SHALL BE PROVIDED FOR PIPING, CONDUIT, ETC. THRU AND UNDER CONCRETE AND MASONRY WALLS. COORDINATE WITH ALL TRADES PRIOR TO CONSTRUCTION.
- UNDERGROUND LINES ARE TO BE PROPERLY TRENCHED AND JACKETED WITH CRUSHED STONE.
- UNDERGROUND ELECTRIC AND COMMUNICATIONS CONDUIT TO HAVE LONG SWEEPS, NOT BENDS.
- ELECTRIC AND COMMUNICATIONS CONDUIT CROSSING UNDER PAVEMENT TO BE SCH80 PVC.
- REPAIR DISTURBED SIDEWALK AND PAVEMENT MATCHING PRE-CONSTRUCTION CONDITIONS.
- COORDINATE WITH BUILDING PLANS FOR EXACT SIZE AND LOCATION OF UTILITIES ENTERING THE BUILDING.
- SANITARY SEWER CONNECTION SHOULD BE DONE WHEN SEWER FLOW IS NEGLIGIBLE, CONTRACTOR TO FIELD DETERMINE THE BEST TIME TO PERFORM CONNECTION. IF NECESSARY, THE UPSTREAM SANITARY MANHOLE SHOULD BE TEMPORARILY PLUGGED AND A MOBILE PUMP OF ADEQUATE SIZE SHOULD TEMPORARILY BYPASS SEWER FLOW TO THE DOWNSTREAM MANHOLE.
- IF THERE IS AN EXISTING USABLE SANITARY SEWER LATERAL WITHIN THE LOT, THE CONTRACTOR SHOULD USE IT INSTEAD OF CUTTING IN A NEW LATERAL PER KEYED NOTE 5 BELOW. EXISTING LATERAL WAS NOT FOUND AT THE TIME OF SURVEY.
- ALL UNDERGROUND UTILITIES AND DRAINS REQUIRE AS-BUILT SURVEY. GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE WITH LOCAL AUTHORITIES HAVING JURISDICTION ON AS-BUILT REQUIREMENTS.
- FRANKFORT PLANT BOARD (FPB) ELECTRIC LOAD DATA FORM AND METERING STANDARDS ARE PART OF THIS PLAN AND ARE READILY AVAILABLE AT [HTTPS://FPB.CC/DOCUMENT-CATALOG](https://fpb.cc/document-catalog).
- FRANKFORT PLANT BOARD (FPB) INFORMATION SHEET FOR DOMESTIC WATER IS PART OF THIS PLAN AND ARE READILY AVAILABLE AT [HTTPS://FPB.CC/DOCUMENT-CATALOG](https://fpb.cc/document-catalog).
- FRANKFORT SEWER DEPARTMENT (FSD) FORMS AND APPLICATIONS ARE PART OF THIS PLAN AND ARE READILY AVAILABLE AT [HTTPS://WWW.FRANKFORT.KY.GOV/2022/FORMS-APPLICATIONS](https://www.frankfort.ky.gov/2022/forms-applications).
- KNOX BOX RAPID ENTRY SYSTEM SHALL BE INSTALLED ON THE BUILDING, COORDINATE WITH THE ARCHITECT. PURCHASE SHALL BE COORDINATED THROUGH THE FRANKFORT FIRE AND EMERGENCY MEDICAL SERVICES DEPARTMENT.

KEYED NOTES

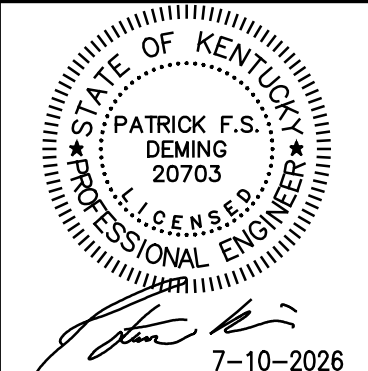
- APPROXIMATE LOCATION OF 12" WATER MAIN PER RECORD PLANS, WATER MAIN WAS NOT IN PLACE AT THE TIME OF SURVEY. EXACT LOCATION AND SIZE TO BE FIELD DETERMINED BY CONTRACTOR PRIOR TO ORDERING MATERIALS.
- FRANKFORT PLANT BOARD (FPB) TO PROVIDE 1" DOMESTIC WATER SERVICE LINE TO AND INCLUDING A 1" METER, AND BILL THE OWNER DIRECTLY. CONTRACTOR TO FILL OUT THE NECESSARY PAPERWORK, SCHEDULE THE TIME FOR MAKING THE CONNECTION, AND COORDINATE WITH FPB.
- FPB TO PROVIDE 1" IRRIGATION WATER SERVICE LINE TO AND INCLUDING A 1" METER, AND BILL THE OWNER DIRECTLY. CONTRACTOR TO FILL OUT THE NECESSARY PAPERWORK, SCHEDULE THE TIME FOR MAKING THE CONNECTION, AND COORDINATE WITH FPB. COORDINATE WITH SITE LANDSCAPING PLAN FOR THE DELEGATED DESIGN REQUIREMENTS OF THE IRRIGATION SYSTEM.
- 1" TYPE K COPPER DOMESTIC WATER SERVICE LINE WITH AT LEAST 36" COVER FROM THE BUILDING TO THE WATER METER PER DETAIL L/C-110. CONNECTION TO THE METER MUST MEET FPB STANDARDS, COORDINATE WITH FPB BEFORE ORDERING MATERIALS. COORDINATE WITH BUILDING PLUMBING PLANS.
- 6" SDR35 PVC SEWER LATERAL CONNECTION TO THE EXISTING SANITARY SEWER MAIN WITH A TWO-WAY CLEANOUT AT THE EASEMENT LINE PER DETAIL R/C-110 MEETING FRANKFORT SEWER DEPARTMENT (FSD) STANDARDS. FSD CREW TO CONNECT TO THE SANITARY SEWER MAIN, THEN THE CONTRACTOR WILL INSTALL THE LATERAL FROM THE TAP TO THE CLEANOUT. CONTRACTOR TO FIELD DETERMINE THE EXACT LOCATION, ELEVATION, AND SIZE OF EXISTING SANITARY SEWER PRIOR TO ORDERING MATERIALS, FILL OUT THE NECESSARY PAPERWORK, SCHEDULE THE TIME FOR MAKING THE CONNECTION, AND COORDINATE WITH FSD IN ADVANCE OF THE SEWER LATERAL CONNECTION.
- 4" SDR35 PVC SEWER SERVICE LINE FROM THE BUILDING TO THE 6" LATERAL WITH AT LEAST 30" COVER, 1% MIN / 2% MAX SLOPE, AND A CLEANOUT AT THE BEGINNING OF THE LINE PER DETAIL L/C-110 MEETING FSD STANDARDS. COORDINATE WITH BUILDING PLUMBING PLANS.
- NO FLOOR DRAINS IN BUILDING. MOP SINK TIED TO OIL/WATER SEPARATOR WITHIN BUILDING. SEE BUILDING PLANS. THE OIL/WATER SEPARATOR SHALL BE COORDINATED WITH BEN GILL, FSD PRETREATMENT COORDINATOR, AT 502-875-2448.
- APPROXIMATE LOCATION OF OVERHEAD ELECTRIC LINES AND POWER POLES PER RECORD PLANS, ELECTRIC LINES WERE NOT IN PLACE AT THE TIME OF SURVEY. EXACT LOCATION AND SIZE TO BE FIELD DETERMINED BY CONTRACTOR PRIOR TO ORDERING MATERIALS.
- FRANKFORT PLANT BOARD (FPB) TO INSTALL THE SERVICE POLE & GUY WIRES, AND BILL THE OWNER DIRECTLY. CONTRACTOR TO FILL OUT THE NECESSARY PAPERWORK, SCHEDULE THE TIME FOR MAKING THE CONNECTION, AND COORDINATE WITH FPB.
- TWO (2) 2" SCH40 PVC PRIMARY ELECTRIC CONDUITS FROM THE SERVICE POLE TO THE TRANSFORMER WITH AT LEAST 42" COVER, PULL STRINGS, AND RIGID METAL LONG SWEEPS MEETING FPB STANDARDS. COORDINATE WITH FPB BEFORE ORDERING MATERIALS. FPB INSPECTOR IS TO OBSERVE TRENCH PRIOR TO COVERING CONDUIT. FPB TO INSTALL PRIMARY CONDUCTORS AND BILL THE OWNER DIRECTLY.
- SINGLE PHASE TRANSFORMER PAD MEETING FPB STANDARDS. COORDINATE WITH FPB BEFORE ORDERING MATERIALS. FPB TO INSTALL TRANSFORMER AND BILL THE OWNER DIRECTLY.
- SCH80 PVC SECONDARY ELECTRIC CONDUITS AND CIRCUITS FROM THE TRANSFORMER TO THE BUILDING WITH AT LEAST 30" COVER, RIGID METAL LONG SWEEPS, METER ENCLOSURE, DISCONNECT, AND GROUNDING MEETING FPB STANDARDS AND NATIONAL ELECTRIC CODE. COORDINATE WITH BUILDING ELECTRICAL PLANS FOR MORE INFORMATION ON THE CONDUITS AND CIRCUITS.
- TWO (2) 2" SCH40 PVC COMMUNICATION CONDUITS FROM THE SERVICE POLE TO A BOX NEXT TO THE TRANSFORMER WITH AT LEAST 30" COVER, PULL STRINGS, AND SCH80 PVC LONG SWEEPING ELBOWS & RISERS MEETING COMMUNICATION COMPANY STANDARDS. CONDUIT FROM THE PEDESTAL TO THE BUILDING THAT CROSSES UNDER PAVEMENT TO BE SCH80 PVC. FPB TO PLACE RISER, ELBOW TO BE TURNED UP WITHIN 6" OF THE POLE. COORDINATE WITH COMMUNICATION COMPANIES BEFORE ORDERING MATERIALS. COMMUNICATION CONDUITS TO HAVE AT LEAST 12" SEPARATION FROM ELECTRIC CONDUIT. COMMUNICATION COMPANIES TO INSTALL CABLES AND BOXES, AND BILL THE OWNER DIRECTLY. CONTRACTOR TO FILL OUT THE NECESSARY PAPERWORK, SCHEDULE THE TIME FOR MAKING THE CONNECTION, AND COORDINATE WITH THE COMMUNICATION COMPANIES.
- SCH40 PVC CONDUIT FROM THE BUILDING ELECTRIC PANEL TO THE LANDSCAPE AREA IN FRONT OF THE PARKING STALLS WITH AT LEAST 30" COVER, PULL STRINGS, AND 3"-0" SCH80 ELBOWS & RISERS FOR FUTURE EV CHARGER. CAP AND MARK THE END FOR FUTURE CONNECTION. EXACT ROUTE AND LOCATION TO BE FIELD DETERMINED BY CONTRACTOR IN COORDINATION WITH OWNER. COORDINATE WITH BUILDING ELECTRICAL PLANS FOR EXACT SIZE AND LOCATION OF CONDUIT AND CIRCUIT.
- SCH40 PVC CONDUIT FROM THE BUILDING ELECTRIC PANEL TO THE MONUMENT SIGN WITH AT LEAST 30" COVER, PULL STRINGS, AND 3"-0" SCH80 ELBOWS & RISERS MEETING NATIONAL ELECTRIC CODE. CAP AND MARK THE END FOR FUTURE CONNECTION. EXACT ROUTE AND LOCATION TO BE FIELD DETERMINED BY CONTRACTOR IN COORDINATION WITH OWNER. COORDINATE WITH BUILDING ELECTRICAL PLANS FOR EXACT SIZE AND LOCATION OF CONDUIT AND CIRCUIT.
- SCH40 PVC CONDUIT FROM THE BUILDING ELECTRIC PANEL TO THE POLE MOUNTED MONUMENT SIGN WITH AT LEAST 30" COVER, PULL STRINGS, AND 3"-0" SCH80 ELBOWS & RISERS MEETING NATIONAL ELECTRIC CODE. CAP AND MARK THE END FOR FUTURE CONNECTION. EXACT ROUTE AND LOCATION TO BE FIELD DETERMINED BY CONTRACTOR IN COORDINATION WITH OWNER. COORDINATE WITH BUILDING ELECTRICAL PLANS FOR EXACT SIZE AND LOCATION OF CONDUIT AND CIRCUIT.
- APPROXIMATE LOCATION OF PROPOSED 4" GAS MAIN PER RECORD PLANS, GAS MAIN WAS NOT IN PLACE AT THE TIME OF SURVEY. EXACT LOCATION AND SIZE TO BE FIELD DETERMINED BY CONTRACTOR. CONTRACTOR TO COORDINATE WITH THE GAS COMPANY TO ENSURE THE GAS MAIN IS INSTALLED AT THE PROPER LOCATION AND ELEVATION TO AVOID NEW CONSTRUCTION.
- GAS COMPANY TO PROVIDE GAS LINE FROM THE TAP TO AND INCLUDING THE GAS METER, AND BILL THE OWNER DIRECTLY. CONTRACTOR TO FILL OUT THE NECESSARY PAPERWORK, COORDINATE WITH GAS COMPANY, AND PROVIDE GAS SERVICE LINE FROM METER INTO THE BUILDING. COORDINATE WITH BUILDING PLUMBING PLANS.

LEGEND

- UGE UNDERGROUND ELECTRIC
- UGT UNDERGROUND TELEPHONE
- UGC UNDERGROUND CONDUIT
- UGG UNDERGROUND GAS
- W WATER LINE
- SS SANITARY SEWER SERVICE LINE
- WM WATER METER
- GV GATE VALVE (WV)
- FH FIRE HYDRANT (FH)
- SM SANITARY SEWER MANHOLE
- CO CLEANOUT (CO)
- ET ELECTRIC TRANSFORMER
- GM GAS METER



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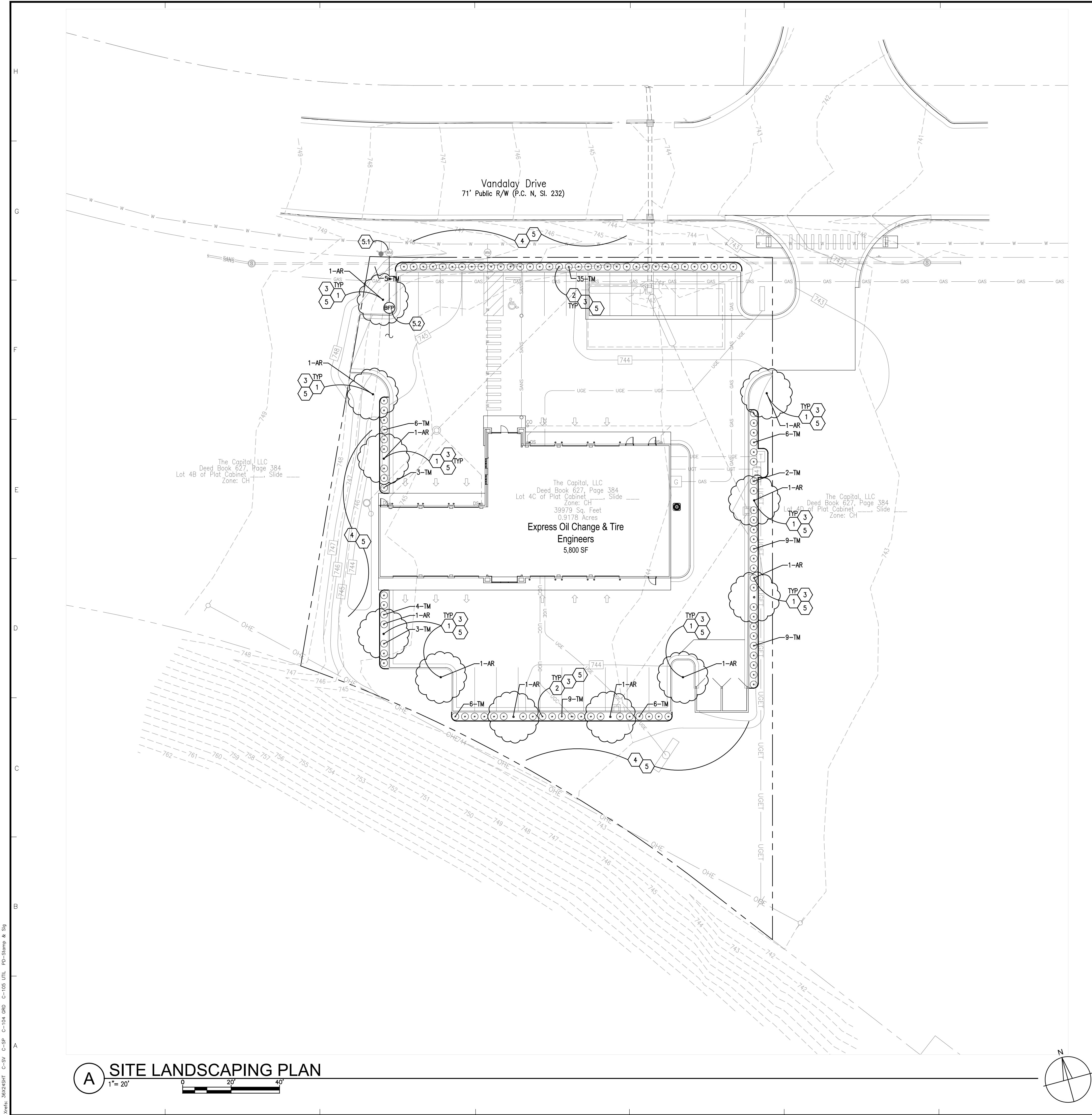
SITE UTILITIES PLAN
EXPRESS OIL CHANGE & TIRE ENGINEERS
2501 VANDALAY DRIVE
FRANKFORT, KENTUCKY

ISSUED FOR CONSTRUCTION

Issue Date:	JUNE 2026
Drawn By:	XX
Checked By:	-
Revisions:	07-10-2026
Mark	Date
AHJ SEAL	

Project Number
25019.01
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C-105



GENERAL NOTES

- CONTRACTOR IS TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITY LINES. EXISTING UTILITY INFORMATION IS NOT TO BE TAKEN AS EXACT OR COMPLETE. CONTRACTOR MUST NOTIFY THE UTILITY COMPANIES AND APPROPRIATE AGENCIES AT LEAST 72 HOURS BEFORE EXCAVATION FOR EXACT FIELD LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS. DIAL 811 TO CONTACT B.U.D. FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID AND WHEN INSTALLED.
- PLANT SUBSTITUTIONS MAY BE MADE ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANTS MUST MEET THE REQUIREMENTS OF THE MOST RECENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1. PLANTS MUST BE HEALTHY, WELL BRANCHED, AND FREE OF DISEASE AND INSECT INFESTATION.
- SPREAD A MINIMUM OF 4" OF CLEAN WEED-FREE TOPSOIL AND SOD OVER ALL AREAS DISTURBED AND NOT PAVED.

KEYED NOTES

- PLANT ALL DECIDUOUS TREES PER DETAIL B, THIS SHEET. PLACE A MINIMUM OF 18" GOOD, CLEAN, WEED FREE TOPSOIL IN ALL SHRUB/TREE PLANTING BEDS.
- PLANT ALL SHRUBS PER DETAIL C, THIS SHEET. PROVIDE 3" OF SHREDDED HARDWOOD MULCH IN ALL LANDSCAPING BEDS.
- PLACE A MINIMUM OF 18" GOOD, CLEAN, WEED FREE TOPSOIL IN ALL SHRUB/TREE PLANTING BEDS.
- WITHIN THE LOT LINES AND THE FRONT LAWN AREA BETWEEN THE PARKING LOT & VANDALAY DRIVE, SPREAD A MINIMUM OF 4" OF CLEAN WEED-FREE TOPSOIL AND SOD ALL AREAS NOT NOTED TO BE PAVED OR TO BE IN A PLANTING BED. DISTURBED AREAS OUTSIDE OF THE LOT LINES AND FRONT LAWN AREA CAN BE HYDRO-SEEDED.
- ALL LANDSCAPE AND LAWN AREAS WITHIN THE LOT LINES ARE TO BE IRRIGATED WITH A FULLY AUTOMATED DRIP / BUBBLER IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN IS DELEGATED TO THE CONTRACTOR AND IS TO BE APPROVED BY OWNER. SHOP DRAWINGS REQUIRED. PROVIDE AND COORDINATE THE INSTALLATION OF SCHEDULE 40 PVC SLEEVES UNDER THE PARKING LOT AND INTO THE BUILDING AS NECESSARY. CONTROLLER TO BE LOCATED INSIDE THE BUILDING, COORDINATE WITH BUILDING PLANS.
- COORDINATE WITH SITE UTILITIES PLAN FOR 1" IRRIGATION METER.
- BACKFLOW PREVENTER (BFP) FOR IRRIGATION SYSTEM TO BE 1" WATTS MODEL LF007 DOUBLE CHECK VALVE ASSEMBLY WITH SHUT OFF VALVES, OR APPROVED EQUIVALENT, INSTALLED IMMEDIATELY DOWNSTREAM OF THE METER. PLACE INSIDE A PIT WITH CAST IRON LID STATING 'WATER VALVE'. BED PIT ON COMPACTED CRUSHED STONE, DO NOT BED PIT ON WATERLINE.

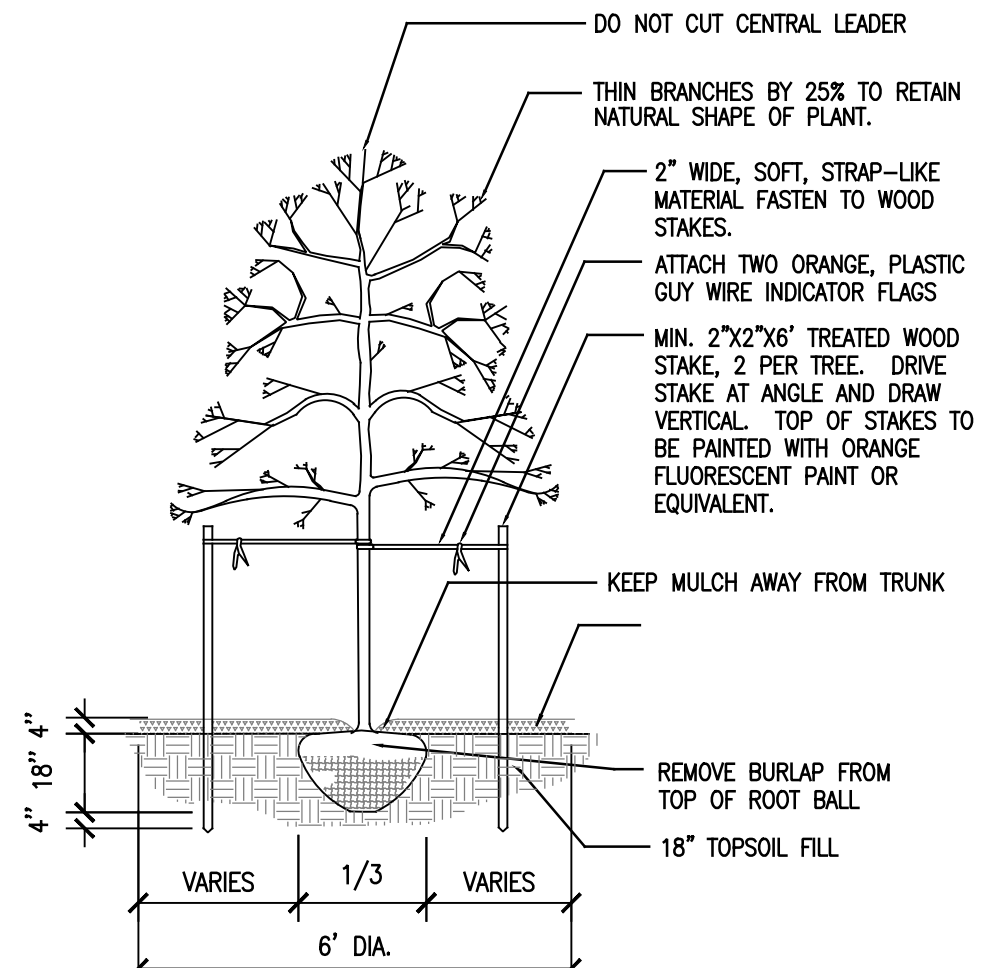
PLANT SCHEDULE

QTY.	ABBR.	BOTANICAL NAME	COMMON NAME	HGHT	CAL.	REMARKS
11	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	—	1.75"	B&B
102	TM	TAXUS X MEDIA 'BROWNI'	BROWN'S YEW	18" MIN.	—	3 GAL. CONTAINER

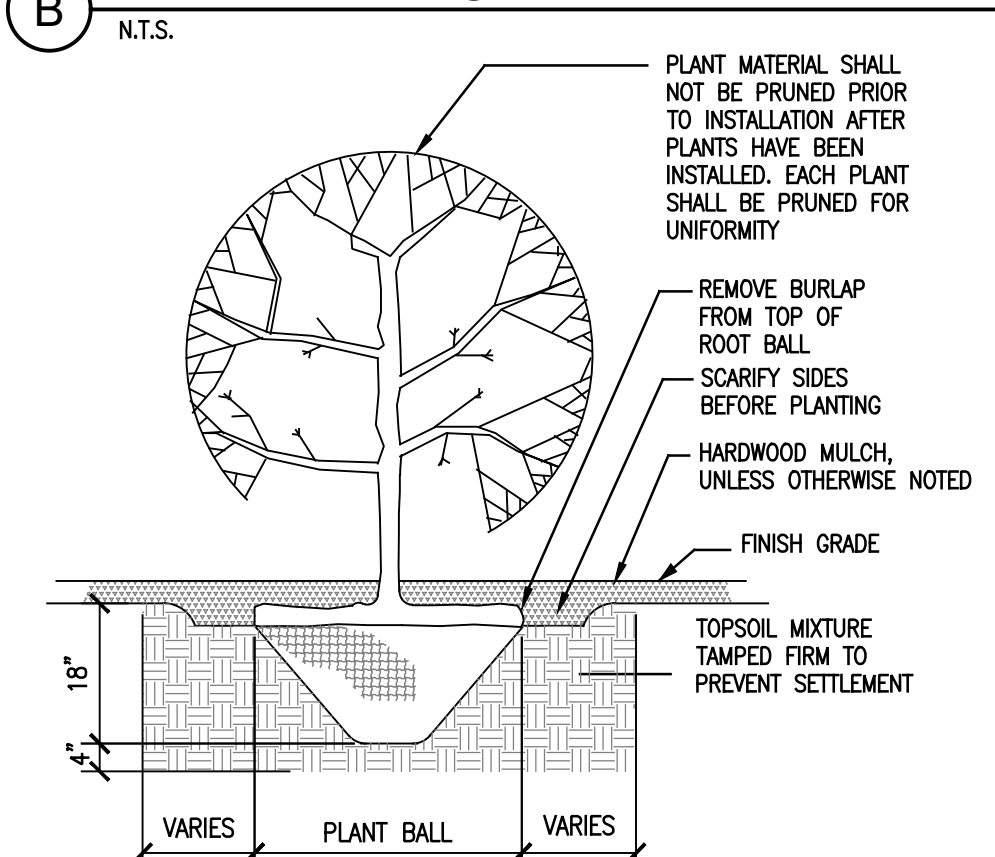
NOTE: PLANTS INDICATED ON DRAWING TAKES PRECEDENCE OVER QUANTITIES IN PLANT LIST.

LANDSCAPING STATISTICS

VANDALAY DRIVE	
Property Zone:	CH - Highway Commercial District
Total Development Area:	39,979 sq. ft.
Vehicular Use Area (V.U.A.) Parking Area Proposed:	19,360 sq. ft.
Interior Landscape Area Required (5% of V.U.A.):	968 sq. ft.
Interior Landscape Area Provided:	1,180 sq. ft.
V.U.A. Interior Trees Required (1 / 250 SF):	4 Trees
V.U.A. Interior Trees Provided:	5 Trees



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

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SITE LANDSCAPING PLAN
EXPRESS OIL CHANGE & TIRE ENGINEERS
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1.5" COMPACTED DEPTH
CL2 ASPH SURF 0.3BD PG64-22

1.5" COMPACTED DEPTH
CL2 ASPH BASE 0.75D PG64-22

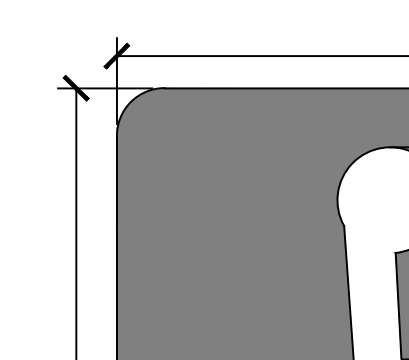
8" COMPACTED DGA.

COMPACTED SUBGRADE.

1.5"

1.5"

8"



GENERAL NOTE:
MATERIALS AND METHODS ARE TO MEET THE REQUIREMENTS OF THE KENTUCKY TRANSPORTATION CABINET SPECIFICATIONS, LATEST EDITION.

PAVEMENT REPAIR NOTES:

1. REPLACE ASPHALT, CONCRETE, CURB, AND STONE BASE WITH SAME TYPE & DEPTH AS EXISTING.
2. ASPHALT, CONCRETE, & STONE BASE MATERIALS AND METHODS ARE TO MEET THE REQUIREMENTS OF THE KENTUCKY TRANSPORTATION CABINET SPECIFICATIONS, LATEST EDITION.
3. COMPLETELY BACKFILL TRENCHES WITH COMPACTED CRUSHED STONE AS CONSTRUCTED IN ORDER TO MAINTAIN TRAFFIC.

LANDSCAPE REPAIR NOTES:

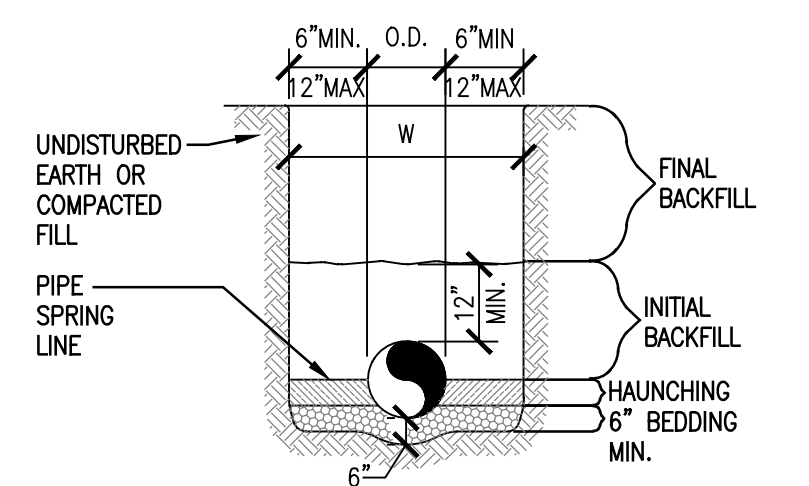
1. REPLACE GRASS, TOPSOIL, TREES, AND LANDSCAPING WITH SAME TYPE & DEPTH AS EXISTING.
2. SPREAD AT LEAST 4" OF TOPSOIL IN DISTURBED LANDSCAPE AREAS, THEN SEED AND MULCH.
3. IMMEDIATELY STABILIZE DISTURBED AREAS AS CONSTRUCTED.

PAVEMENT REPAIR NOTES:

1. REPLACE ASPHALT, CONCRETE, CURB, AND STONE BASE WITH SAME TYPE & DEPTH AS EXISTING.
2. ASPHALT, CONCRETE, & STONE BASE MATERIALS AND METHODS ARE TO MEET THE REQUIREMENTS OF THE KENTUCKY TRANSPORTATION CABINET SPECIFICATIONS, LATEST EDITION.
3. COMPLETELY BACKFILL TRENCHES WITH COMPACTED CRUSHED STONE AS CONSTRUCTED IN ORDER TO MAINTAIN TRAFFIC.

TRENCHING AND BEDDING NOTES:

1. BEDDING SHALL BE NO. 9 CRUSHED STONE WORKED BY HAND AND COMPACTED.
2. HAUNCHING SHALL BE NO. 9 CRUSHED STONE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND COMPACTED.
3. INITIAL BACKFILL SHALL BE NO. 9 CRUSHED STONE WORKED BY HAND AND COMPACTED.
4. FINAL BACKFILL IN PAVED AREAS SHALL BE COMPACTED NO. 9 CRUSHED STONE.
5. FINAL BACKFILL IN LANDSCAPE AREAS CAN BE SELECT SOIL COMPACTED TO 95% STANDARD PROCTOR WITH NO ORGANICS AND NO LARGE ROCKS.
6. MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
7. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS AND CRACKS.
8. TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL CODES.



Name: Q:\Express Oil Change\25019.01 - Frankfort.02 DWG\01 CM\SHEET\C-110 DTL.dwg

2" COMPACTED DEPTH
CL2 ASPH SURF PG64-22

2" COMPACTED DEPTH
CL2 ASPH BASE 0.75D PG64-22

10" COMPACTED DGA

COMPACTED SUBGRADE

SYMBOL ON BACKGROUND

STROKE WIDTH

5'-0" FOR ADA
7'-0" ALL OTHERS

3'-0"

12"

PER PANEL

SIGN PANEL

WHERE INDICATED ON SITE LAYOUT PLAN

SIGN PANEL: ALUM W/ B ENAMEL FIN. TO POST W/ WASHER & 2" SQ ALUM CLOSE TOP SMOOTH. PA BLACK

SLOPE CONC FROM POST FIN GRADE

EMBED POST IN CONC

CLASS A CONC

THREADED PVC CLEANOUT PLUG
 FINISHED GRADE
 ADJUSTABLE HEAD
 12" 12"
 NO. 9 CRUSHED STONE BACKFILL
 HEAVY DUTY FRAME AND COVER
 1" IN GRASSY AREAS
 0" IN PAVED AREAS
 4" CONCRETE COLLAR
 *D
 *D= DEPTH TO BE IN FIELD BY INVERT ELEVATION BE SUFFICIENT CONNECTION LINE ALLOWING OF AT LEAST "D" SHALL BE 2'-0".
 DRAIN LINE

NOTE: 1. SANITARY SEWER CLEANOUT FRAME AND COVER REVISED TO FSD STANDARD MANHOLE TYPE. 2. ROOF DRAIN CLEANOUT FRAME AND COVER REVISED TO TYPICAL STORM DRAIN TYPE.

EASEMENT LINE _____

FSD SANITARY MANHOLE FRAME AND COVER

FINISHED GRADE (PAVEMENT)

PAVEMENT SUBBASE

45° BEND

SEWER LINE IDENTIFICATION TAPE

BACKFILL AS REQ'D.

1% MIN / 2% MAX SLOPE

6" DOUBLE WYE CLEANOUT (TWO-WAY)

6"x4" ECCO CONNECT

6" PVC PIPE

TEE BRANCH CONNECTION TO SEWER MAIN

NO. 9 CRUSHED STONE BEDDING AND BACKFILL PER DETAIL L/C-110

NOTES:

1. LATERAL
2. LATERAL IDENTIFICATION
3. DOUBLE CONTRA

3. PROOF ROLL SUB-GRADE IN THE GEOTECHNICAL ENGINEER WITH A TANDEM AXLE DUMP TRUCK.

GA
INT
BOLT,
NUTS
ST.
AND
Y

2

WHITE LEGEND RED
BACKGROUND

STOP SIGN

PROVIDE ALUMINUM
SIGN FRAME
AND SOLDER
BACKING.
POWDERCOAT
COLOR TO
BE BLACK.
INSTALL PER
MANUFACTURER'S
INSTRUCTIONS.

BLUE
BACKGROUND
WHITE TEXT
& GRAPHIC
& BORDER

RESERVED
PARKING

12"

10"

3"

P

VAN
ACCESSIBLE

PENALTY SIGN
WITH WORDING
AS REQ. BY
STATE OR PER
LOCAL CODE

ACCESSIBLE PARKING

Diagram illustrating the specifications for a Stop Sign and an Accessible Parking Sign.

Stop Sign: The sign is octagonal with a 30° angle dimensioned. The text "STOP" is centered. The background is white, and the legend is red. The sign is made of aluminum with solder backing, powdercoated black, and installed per manufacturer's instructions.

Accessible Parking Sign: The sign is rectangular with a blue background and white text and graphic. It features the text "RESERVED PARKING", a "P" in a circle, "VAN ACCESSIBLE", and an arrow pointing right. The sign is 12" wide and 10" high. A separate diagram shows a white arrow pointing up, which is part of the "Penalty Sign" mentioned in the text.

Diagram illustrating the required edge key for a new asphalt pavement. The diagram shows a cross-section of the pavement structure. The existing pavement is shown on the left, and the new pavement is shown on the right. A key is cut into the existing pavement, with a width of 18" and a depth of 1.5". The new pavement is placed over the key, creating a "NEW PAVEMENT" layer on top of the "EXISTING PAVEMENT". The top surface is labeled "ASPHALT SURFACE".

NOTE:
EDGE KEY WORK SHALL INCLUDE CUTTING OUT THE EXISTING ASPHALT TO A MINIMUM DEPTH AND WIDTH AS SHOWN, THE NEW SURFACE HELLS INTO THE EXISTING SURFACE. EDGE KEY SHALL ALSO INCLUDE ALL NECESSARY MATERIALS, LABOR, EQUIPMENT ETC. TO PERFORM THE WORK AND DISPOSE OF THE ASPHALT MATERIAL REMOVED. THE COST OF THE WORK TO BE INCLUDED IN THE PRICE OF THE ASPHALT.

6" FIBER REINFORCED CONCRETE

6"

6" COMPACTED DGA BASE

BEFORE INSTALLING DGA BASE, PROOF ROLL SUB-GRADE. UNDERCUT AREAS THAT RUT / PUMP AND REPLACE WITH SATISFACTORY SOILS.

NOTES:

1. INSTALLATION OF PAVEMENT MARKING SHALL BE ACCOMPLISHED BY APPLYING WHITE THERMOPLASTIC MARKING MATERIAL TO THE KENTUCKY TRANSPORTATION DEPARTMENT'S APPROVED LIST.
2. PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF THE KENTUCKY HIGHWAY CABINET SPECIFICATIONS, LATEST EDITION.

TO BE REFLECTIVE WHITE PAINT PER SPEC 714.

The diagram illustrates three standard pavement marking symbols. The first symbol is a straight line with a width dimensioned as 5'-6". The second symbol is a T-junction arrow pointing right, with a height dimensioned as 2'-6". The third symbol is a U-turn arrow pointing left, also with a height dimensioned as 2'-6" and a base width dimensioned as 18".

Diagram illustrating the connection of a downspout to a roof drain. The downspout is shown extending from the roof edge, passing through a wall, and connecting to a 6" pipe. The pipe is labeled "6" PIPE AT 1% MIN SLOPE WITH WATER-TIGHT FITTINGS". The pipe runs horizontally, sloping downwards, and connects to a "6" ROOF DRAIN". The connection is labeled "CONNECT TO 6" ROOF DRAIN WITH WATER-TIGHT FITTING". The downspout is labeled "DOWNSPOUT". The roof edge is labeled "FINISHED GRADE". The distance from the roof edge to the drain is labeled "2'-0" MIN."

OVERLAND FLOW

2:1

18"

2'-0"

1:1

REM AND SOIL

(D) EXPANSION JOINT
N.T.S.

A cross-sectional diagram of a concrete sidewalk. The top layer is labeled "3/4\"/>

1/2"

1/2" 2"

1/2"

GROUT TOP OF SLEEVE

PRECAST SLEEVES TO ACCEPT #6 RE FOR A SNUG FIT. PLACE 8" FROM EA

2 #6 RE-BARS DRIVEN THROUGH WHEELSTOP TO COMPACTED SUB-BASE, MINIMUM 24"

PAVEMENT PER DETAIL THIS SHEET

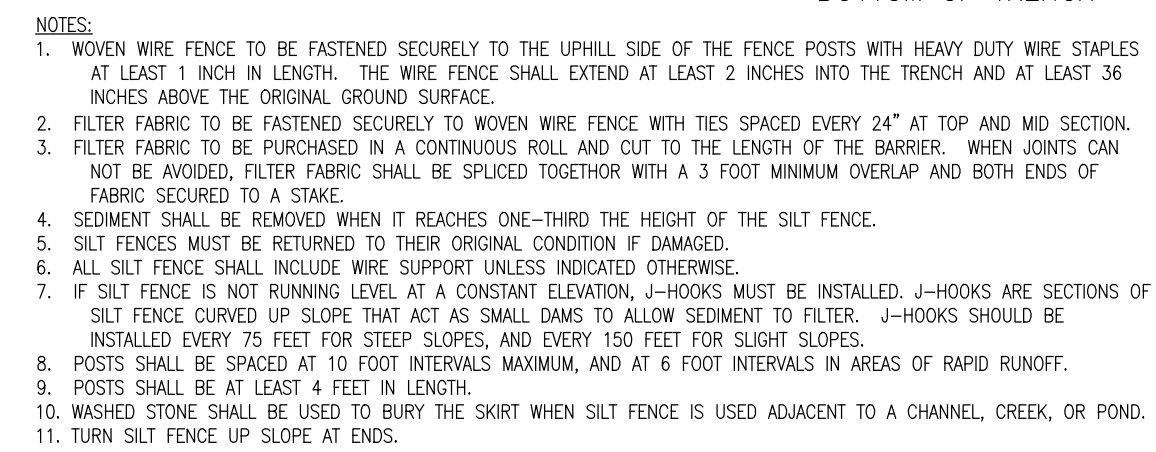
DRAINAGE NOTCH IN BASE OF WHEELSTOP

NOTE: WHEELSTOP IS 6' IN LENGTH.

PROPERLY PROPERLY ALIGNED
DIAMETER SO THE CONNECTION
THE BELL OF THE NEW PIPE.

NEW PIPE

EXISTING PIPE



(F) TEMPORARY SILT FENCE INLET PROTECTION
N.T.S.

(2) #4 CONT.
 3" FROM EDGE
 #4 18"
 O.C. MAX
 6"
 12"
 16" MIN.
 8" MIN.
 SUB-BASE TO BE #57 CRUSHED STONE BASIN WRAPPED
 IN NON-WOVEN FILTER FABRIC PER DETAIL B/C-111.
 7" SUB-BASE TO BE #57 CRUSHED STONE
 2" BEDDING TO BE #8 CRUSHED STONE

